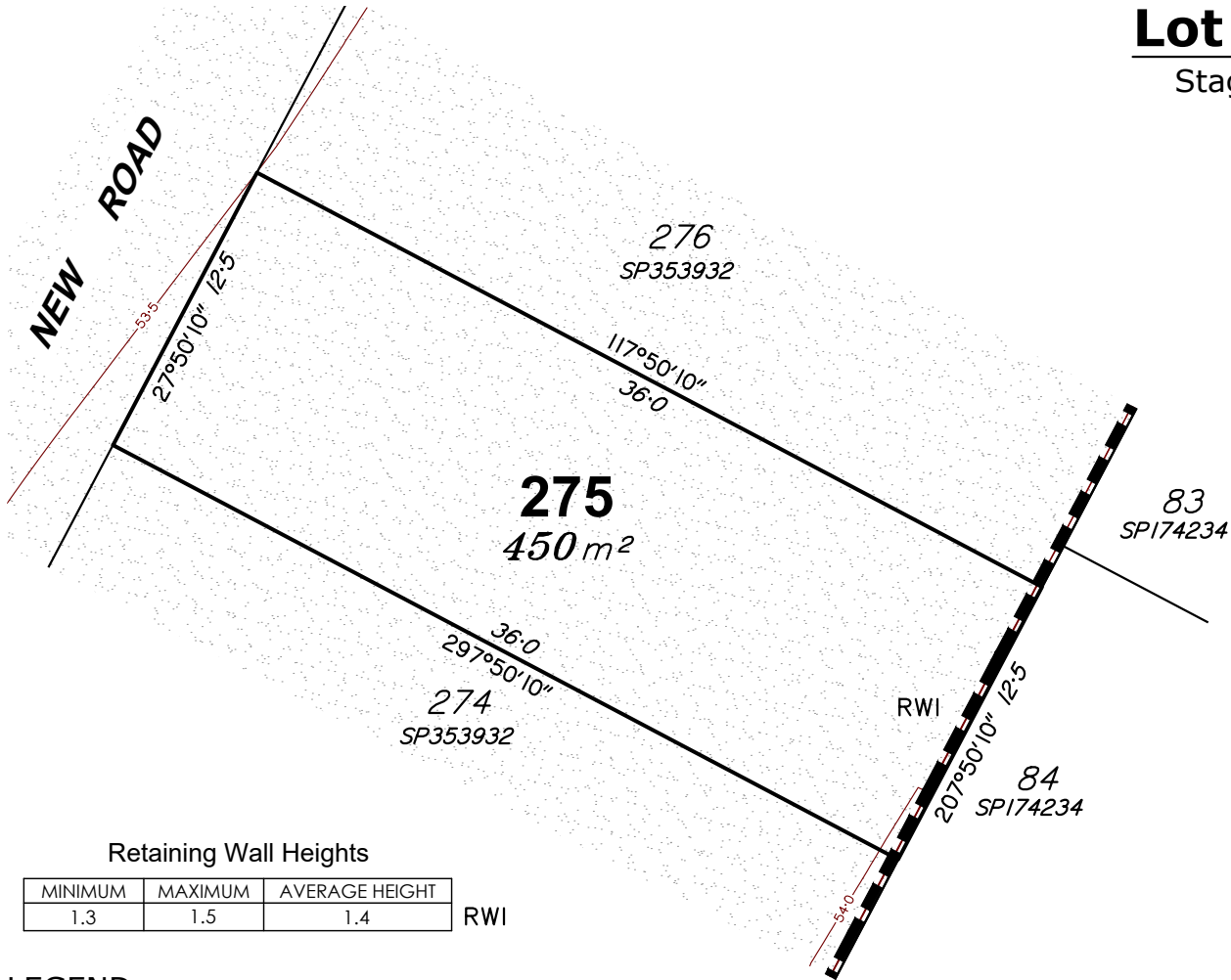


Lot 275

Stage 5



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.3	1.5	1.4

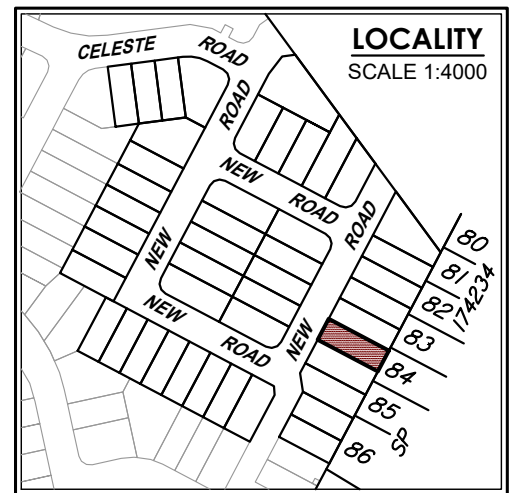
RWI

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 275 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 24 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 275 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

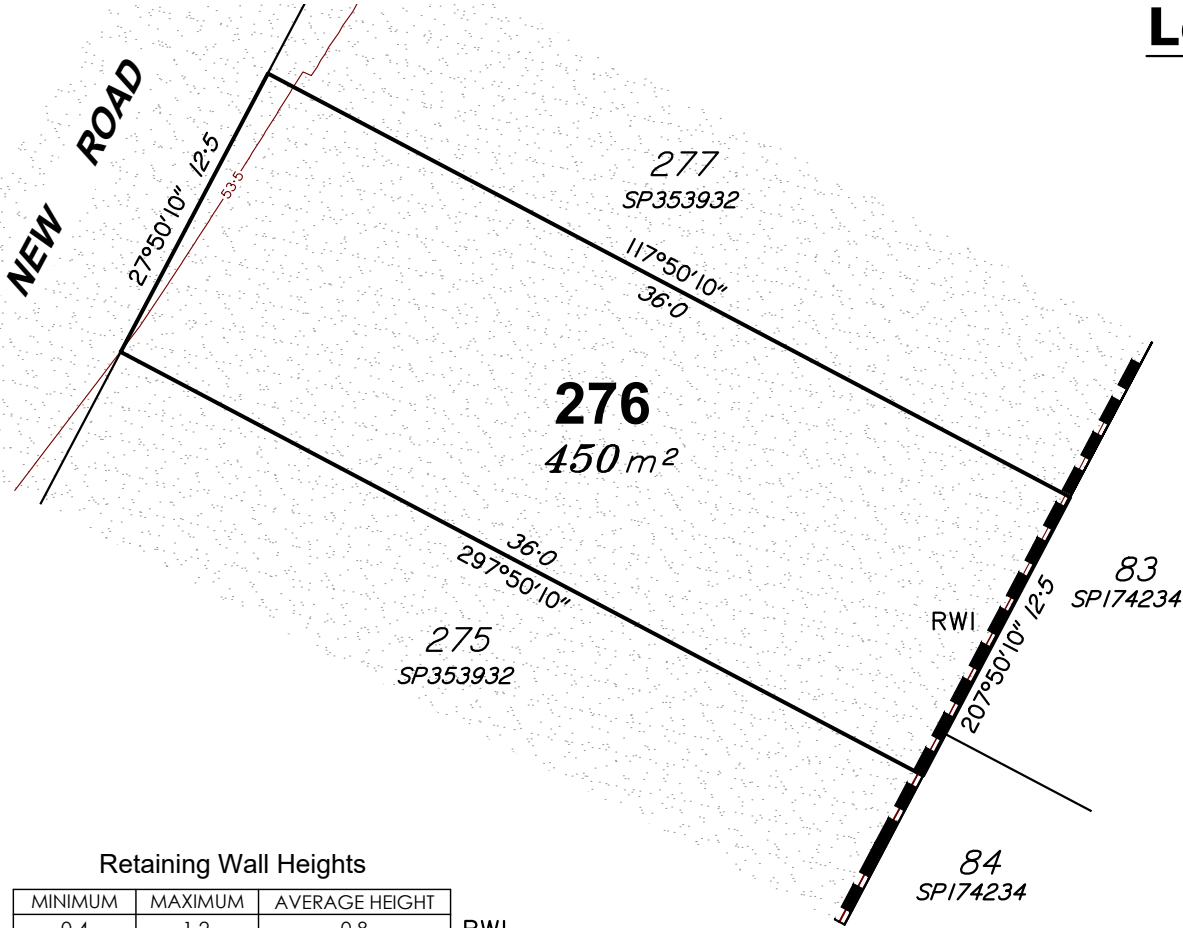
171101.project

Plan No:

171101_046_DIS

Lot 276

Stage 5



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.4	1.2	0.8

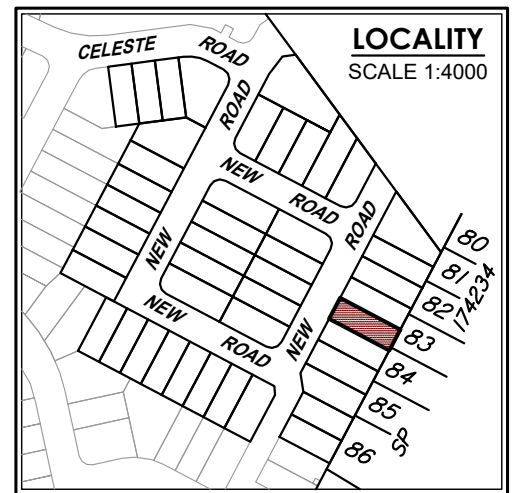
RWI

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 1.0 Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 276 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 25 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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Title:

Disclosure Plan for Lot 276 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

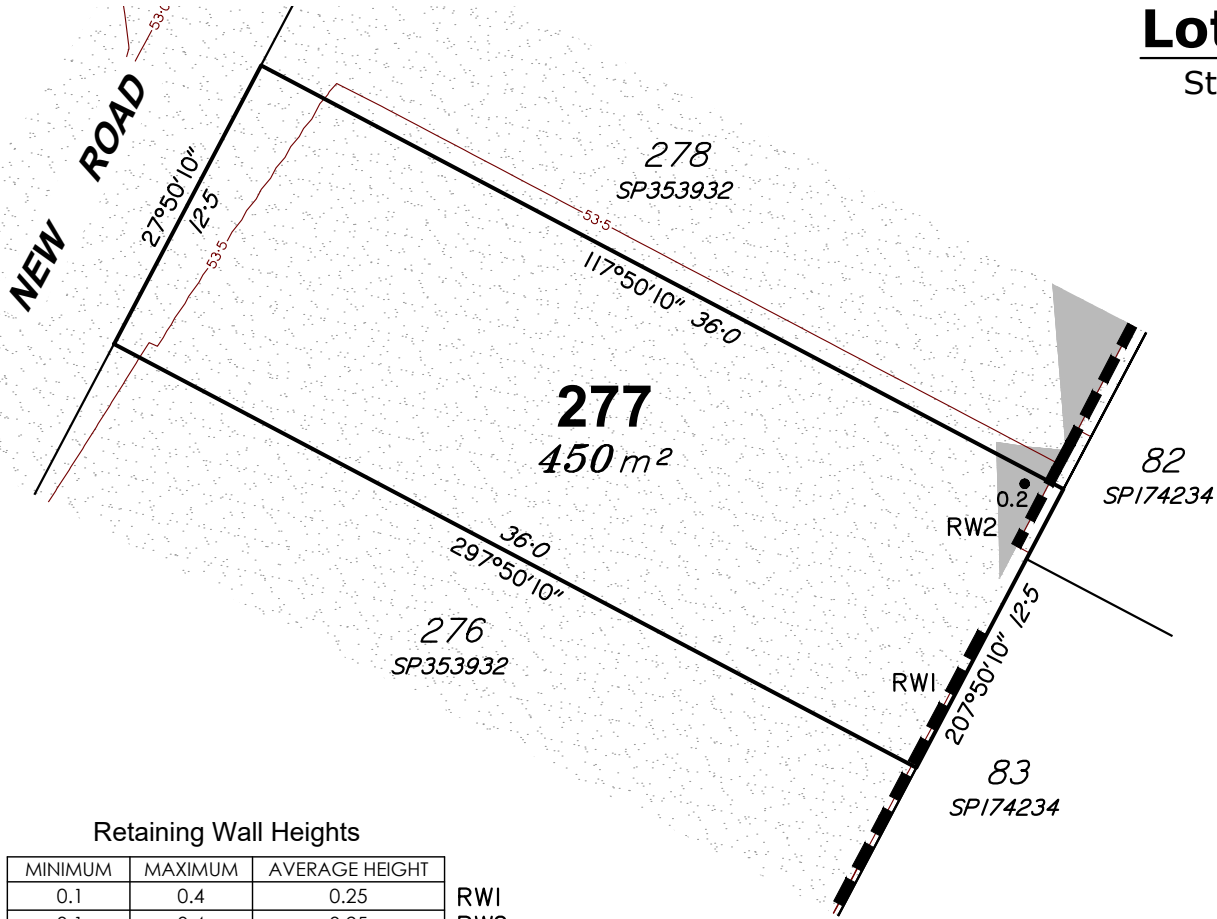
171101.project

Plan No:

171101_046_DIS

Lot 277

Stage 5



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	0.4	0.25
0.1	0.4	0.25

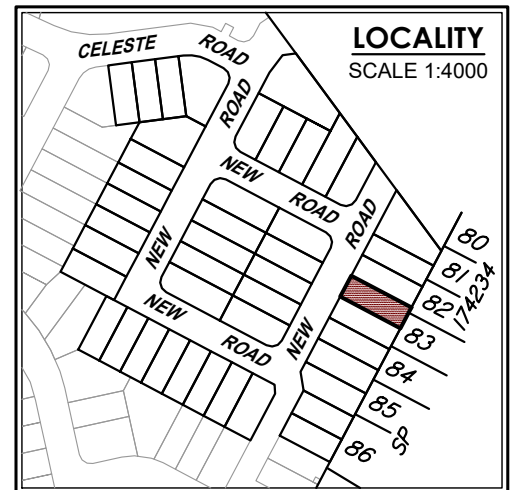
RW1
RW2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 277 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 26 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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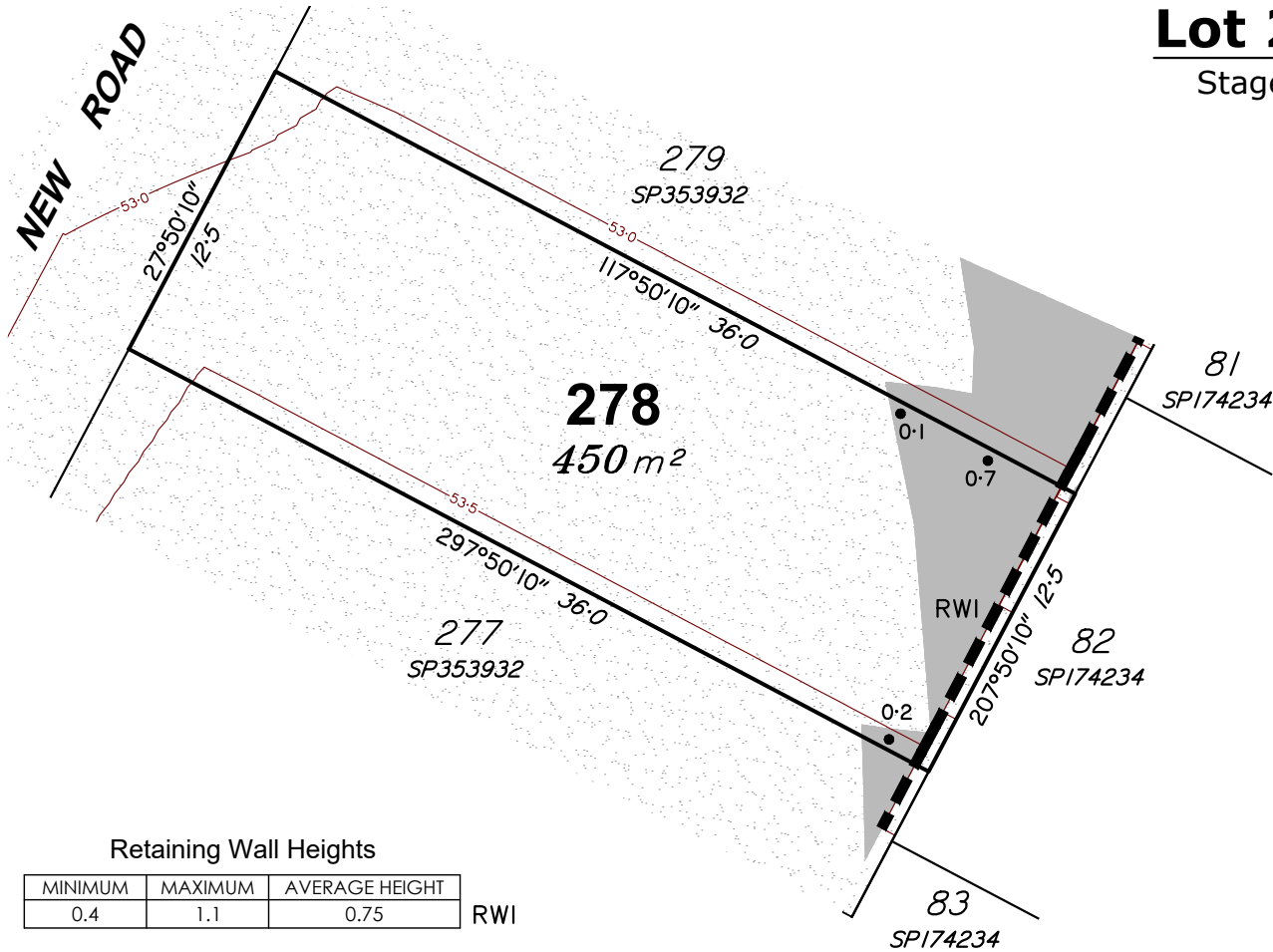
Title: **Disclosure Plan for Lot 277 on SP353932**
Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	GJF
Surveyed By:	JS	Approved:	SWM
Date Created:	26/02/2025	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_046_DIS		

Lot 278

Stage 5

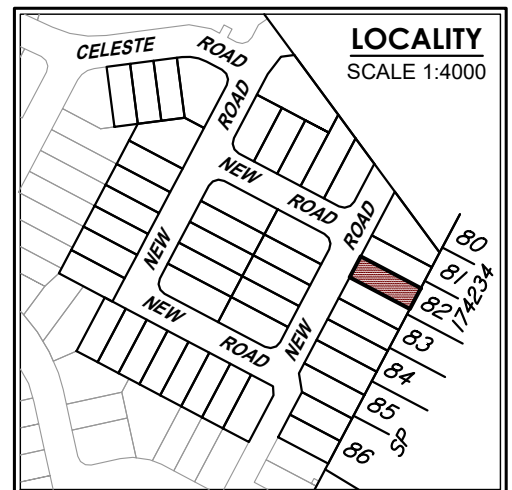


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 1.0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 278 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 27 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 278 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: GJF

Surveyed By: JS Approved: SWM

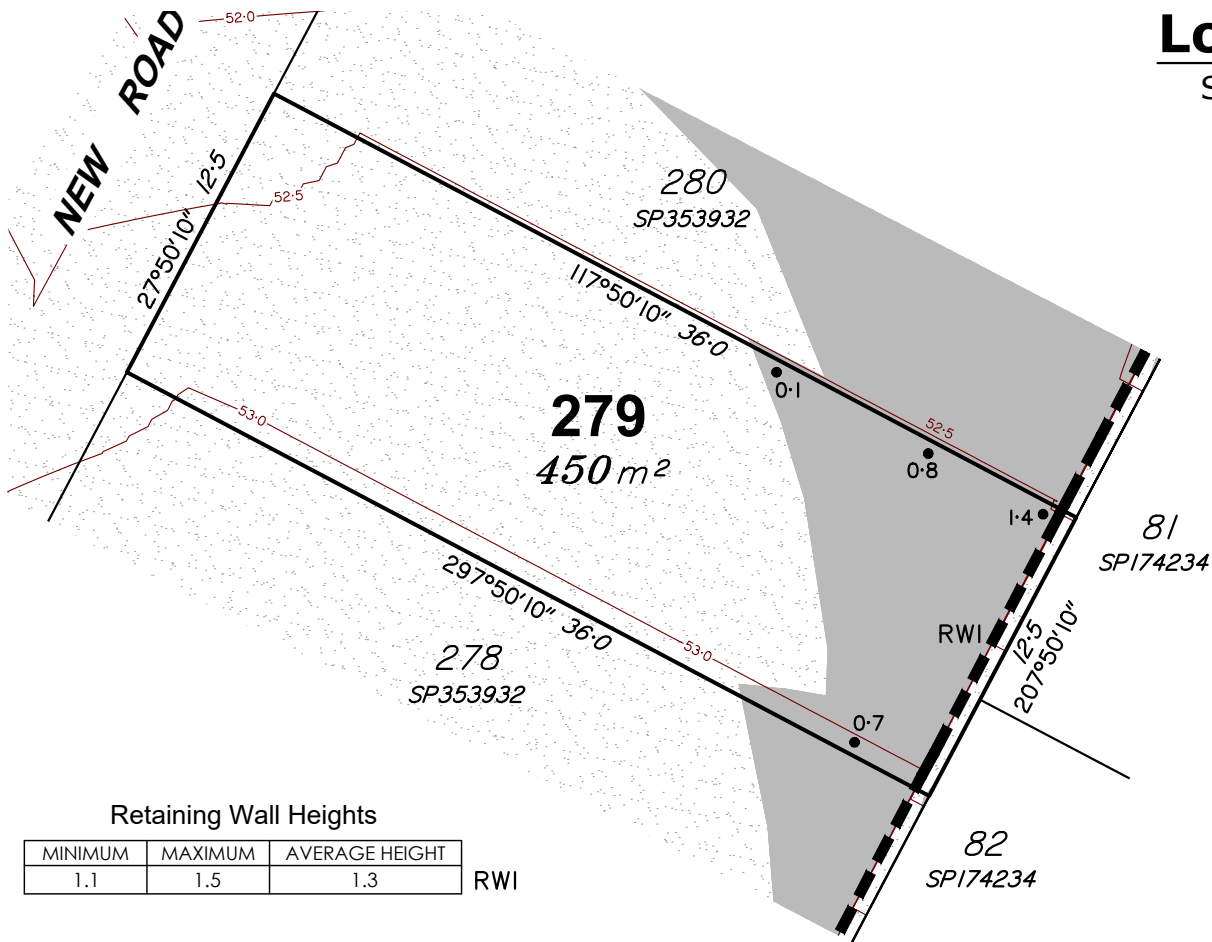
Date Created: 26/02/2025 Scale: 1:300

Comp File: 171101.project

Plan No: **171101_046_DIS**

Lot 279

Stage 5



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.1	1.5	1.3

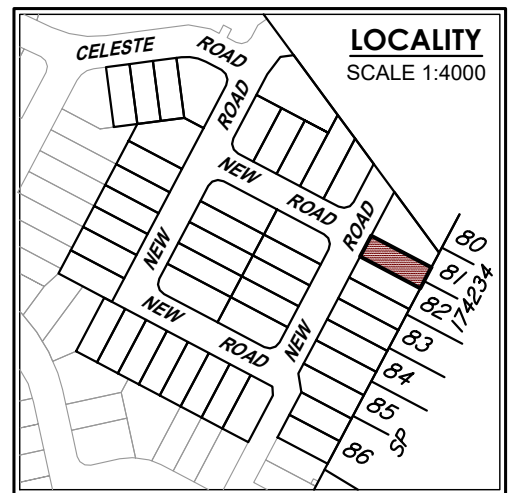
RWI

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 279 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:4000

Scale 1:300

Sheet 28 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 279 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and changes

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

171101.project

Plan No:

171101_046_DIS

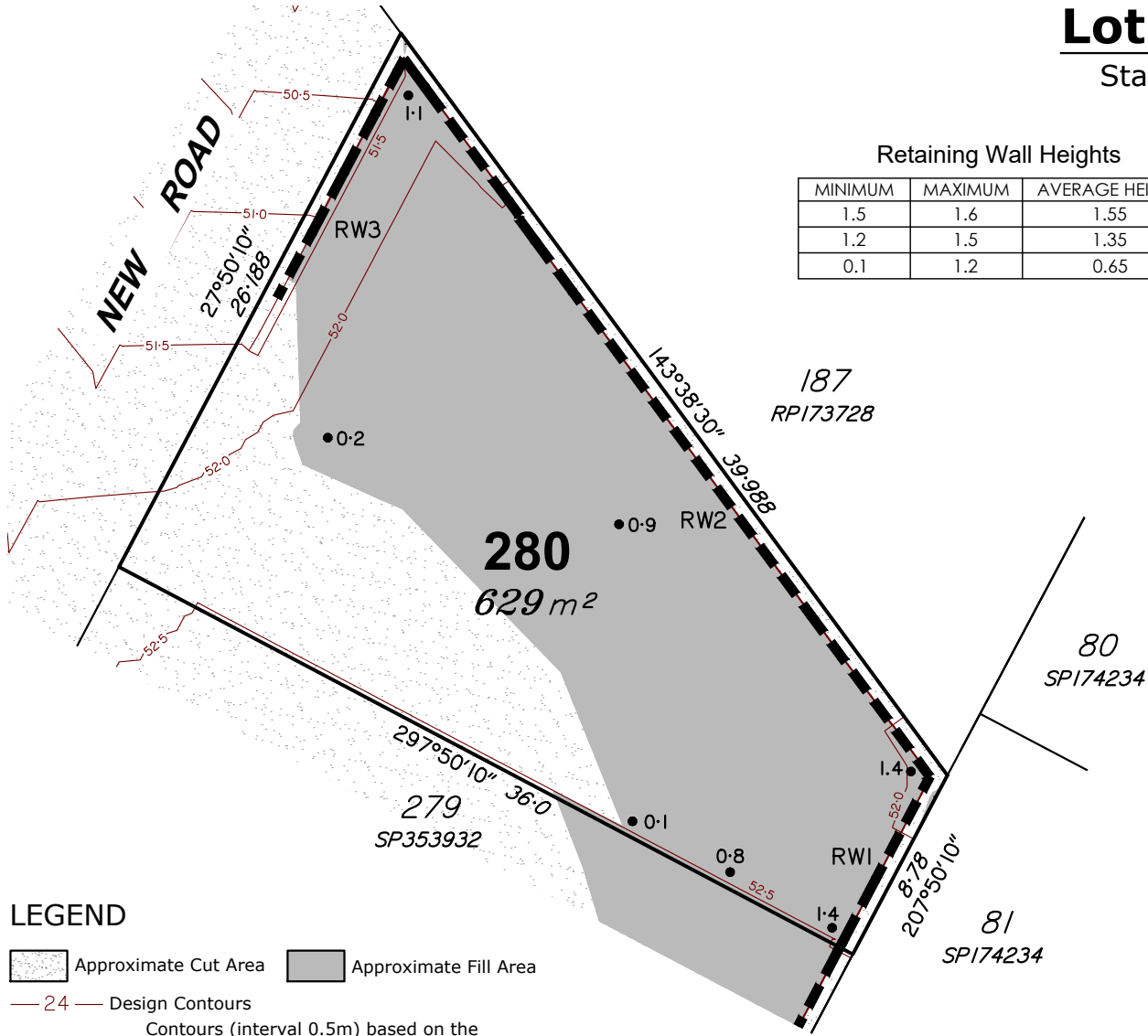
Lot 280

Stage 5

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.6	1.55
1.2	1.5	1.35
0.1	1.2	0.65

RW1
RW2
RW3



LEGEND

Approximate Cut Area Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)

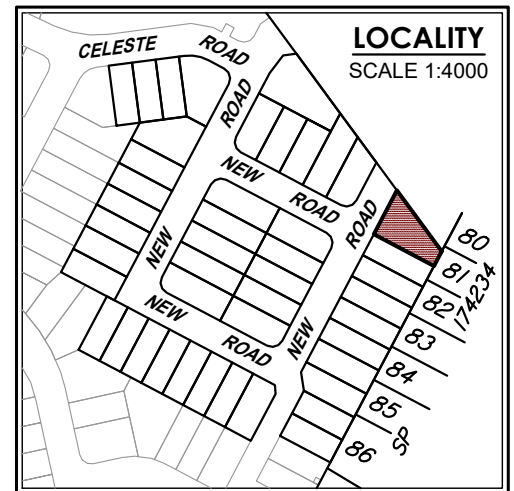
Denotes retaining wall height

Denotes depth of fill

Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 280 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 29 of 45

A	Original Issue	GJF	26/02/2025
Issue	Revision	Int	Date



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Title:

Disclosure Plan for Lot 280 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and changes

Client:

**HB AUSTRALIA
PTY LTD**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: GJF

Surveyed By: JS Approved: SWM

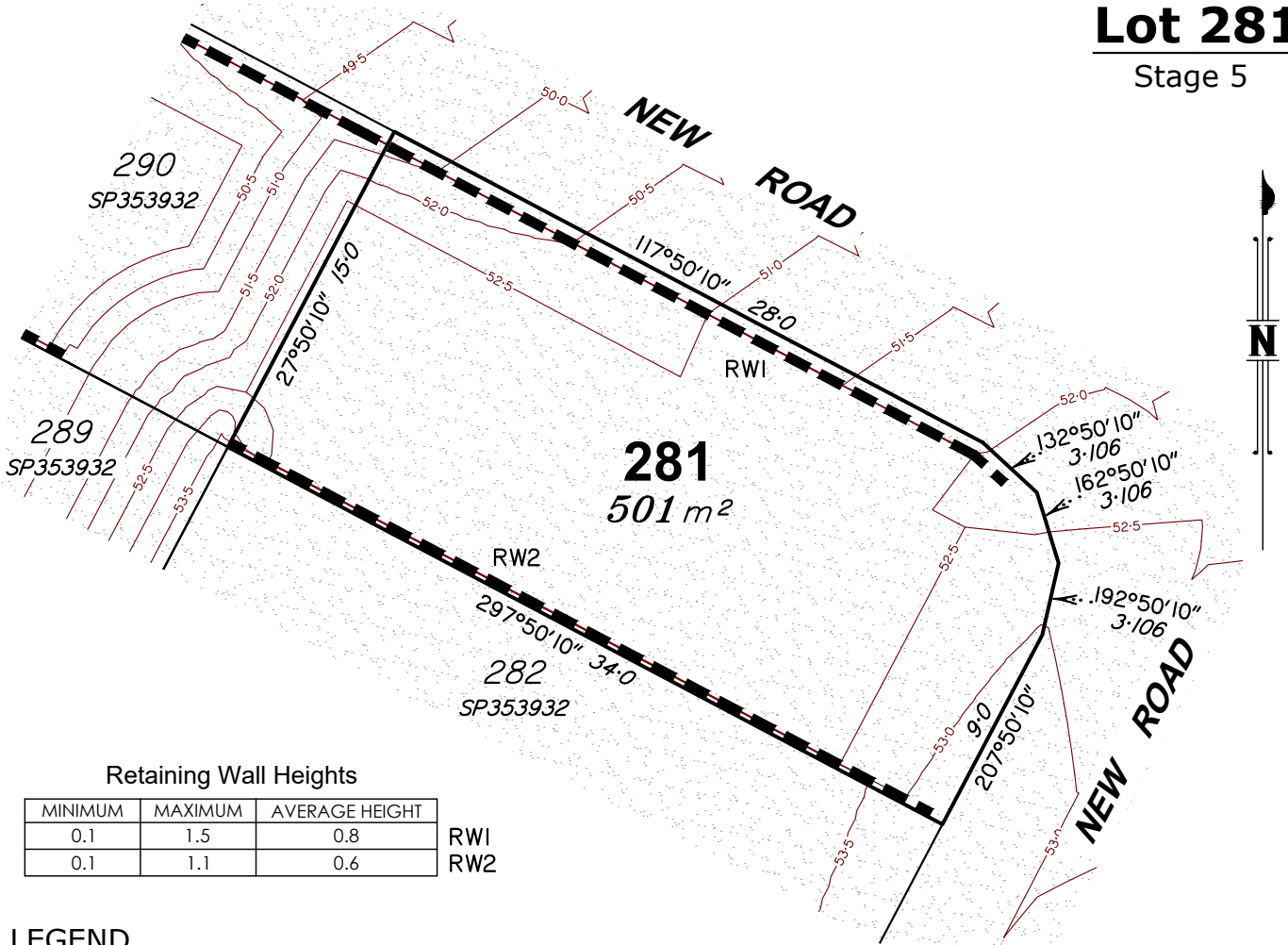
Date Created: 26/02/2025 Scale: 1:300

Comp File: 171101.project

Plan No: **171101_046_DIS**

Lot 281

Stage 5



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
0.1	1.1	0.6

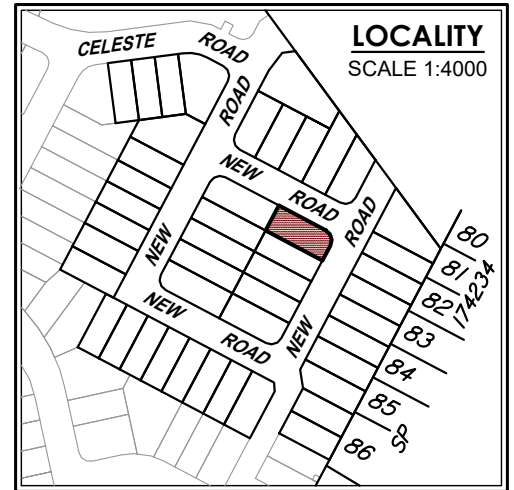
RW1
RW2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 281 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 30 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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Title:

Disclosure Plan for Lot 281 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and changes

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

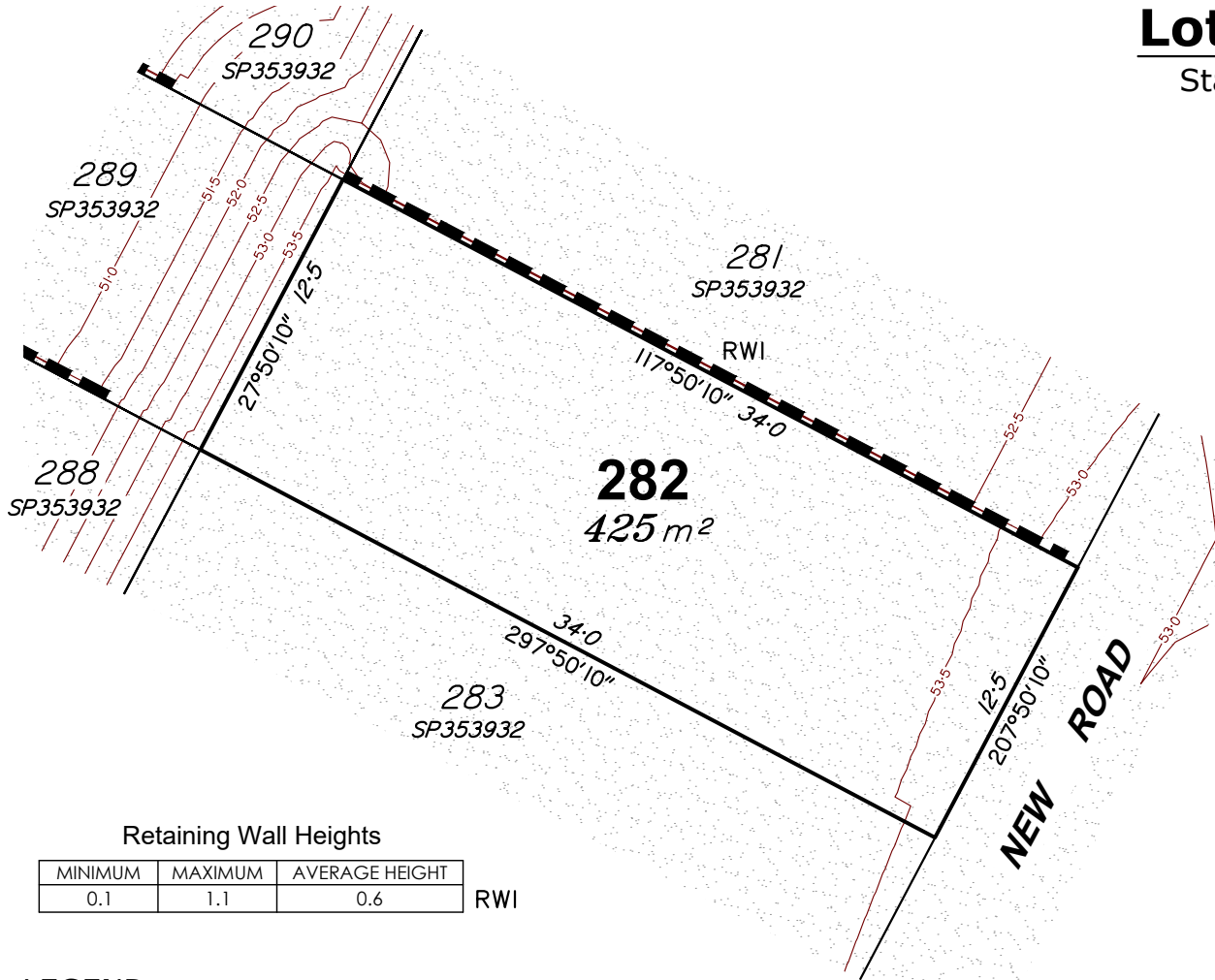
171101.project

Plan No:

171101_046_DIS

Lot 282

Stage 5



Retaining Wall Heights

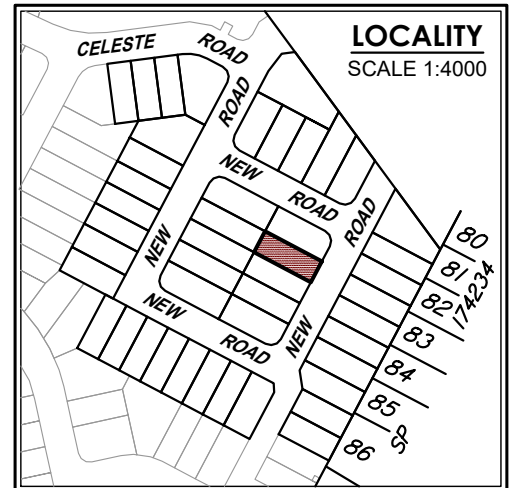
MINIMUM	MAXIMUM	AVERAGE HEIGHT	RWI
0.1	1.1	0.6	

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- 2.4 — Denotes retaining wall height
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 282 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

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Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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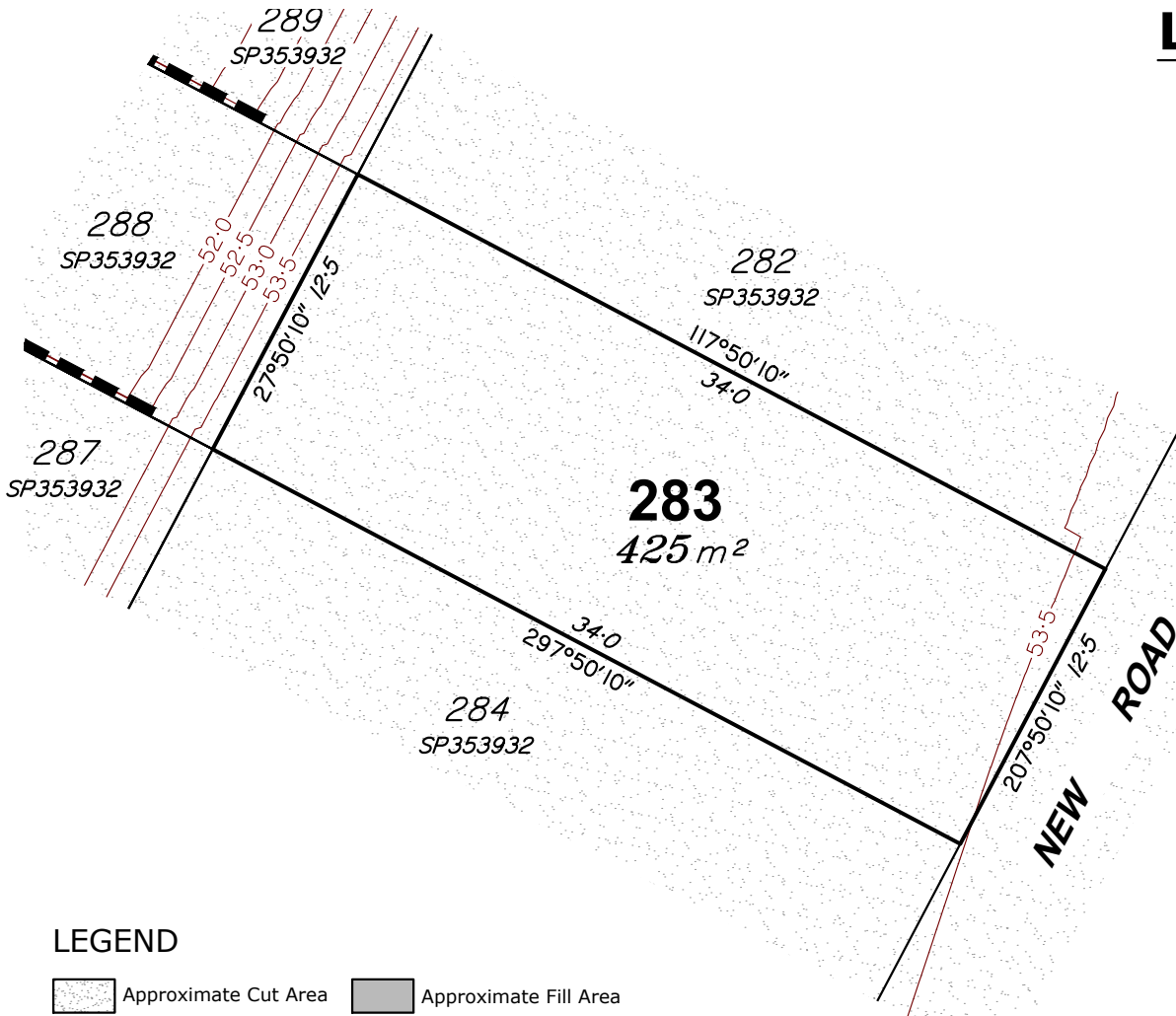
Title: **Disclosure Plan for Lot 282 on SP353932**
Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	GJF
Surveyed By:	JS	Approved:	SWM
Date Created:	26/02/2025	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_046_DIS		

Lot 283

Stage 5

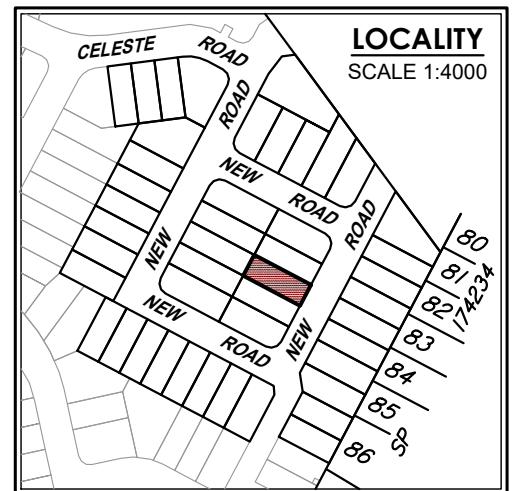


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 1.0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 283 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 32 of 45

Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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Surveying, Town Planning & Spatial Services

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 283 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality: UPPER COOMERA

Local Gov: GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

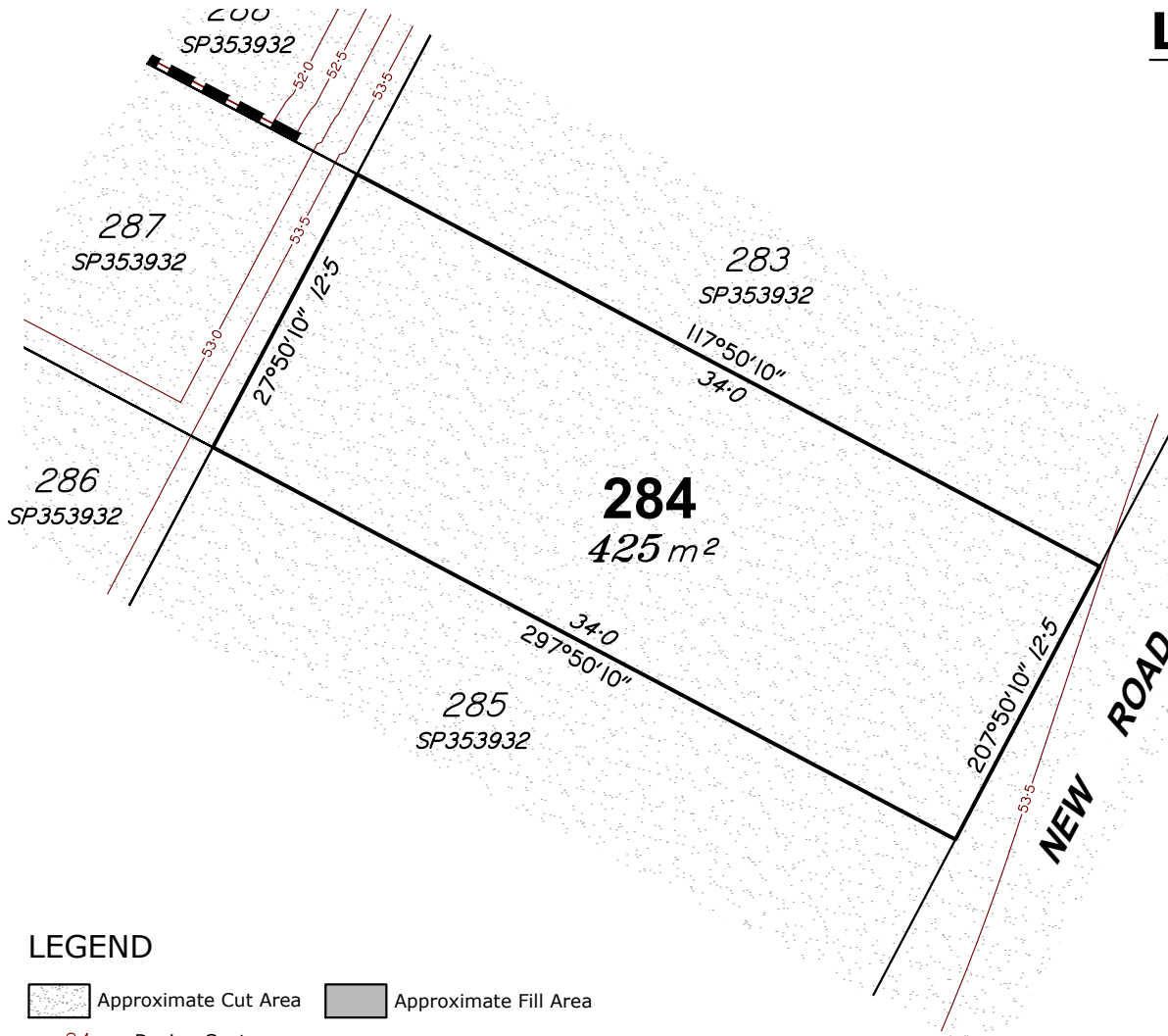
Scale: 1:300

Comp File: 171101.project

Plan No: **171101_046_DIS**

Lot 284

Stage 5

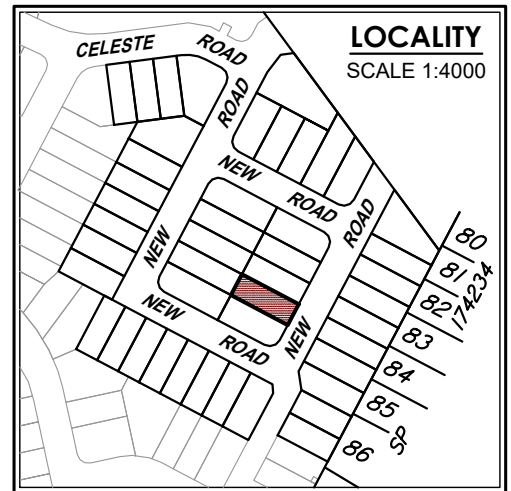


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 284 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300

Sheet 33 of 45

A	Original Issue	GJF	26/02/2025
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Title:

Disclosure Plan for Lot 284 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

171101.project

Plan No:

171101_046_DIS

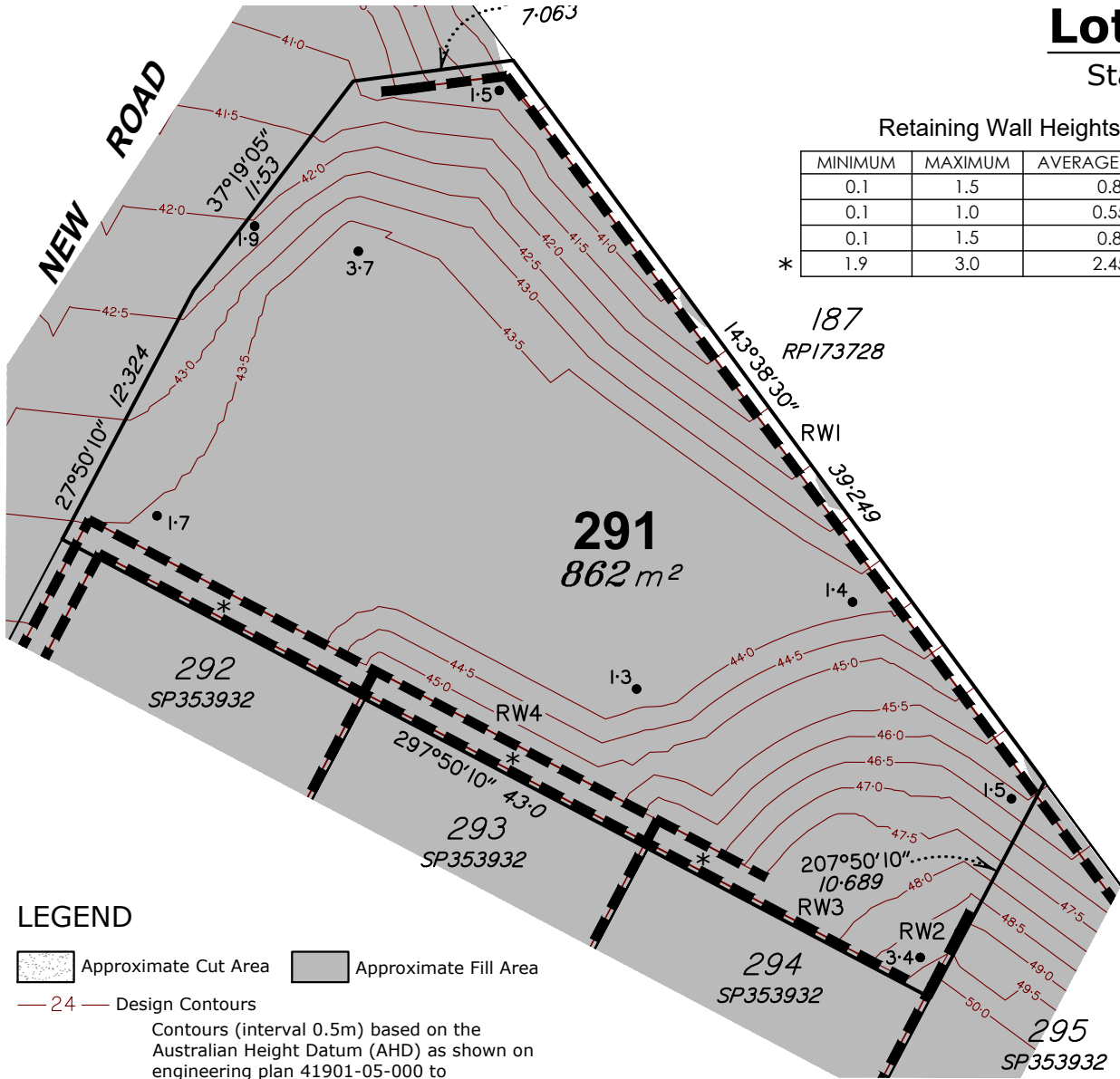
Lot 291

Stage 5

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
0.1	1.0	0.55
0.1	1.5	0.8
1.9	3.0	2.45

RW1
RW2
RW3
RW4

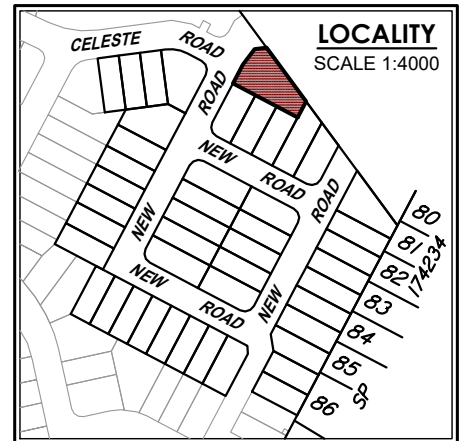


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 2.4 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 291 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



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Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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Title:

Disclosure Plan for Lot 291 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

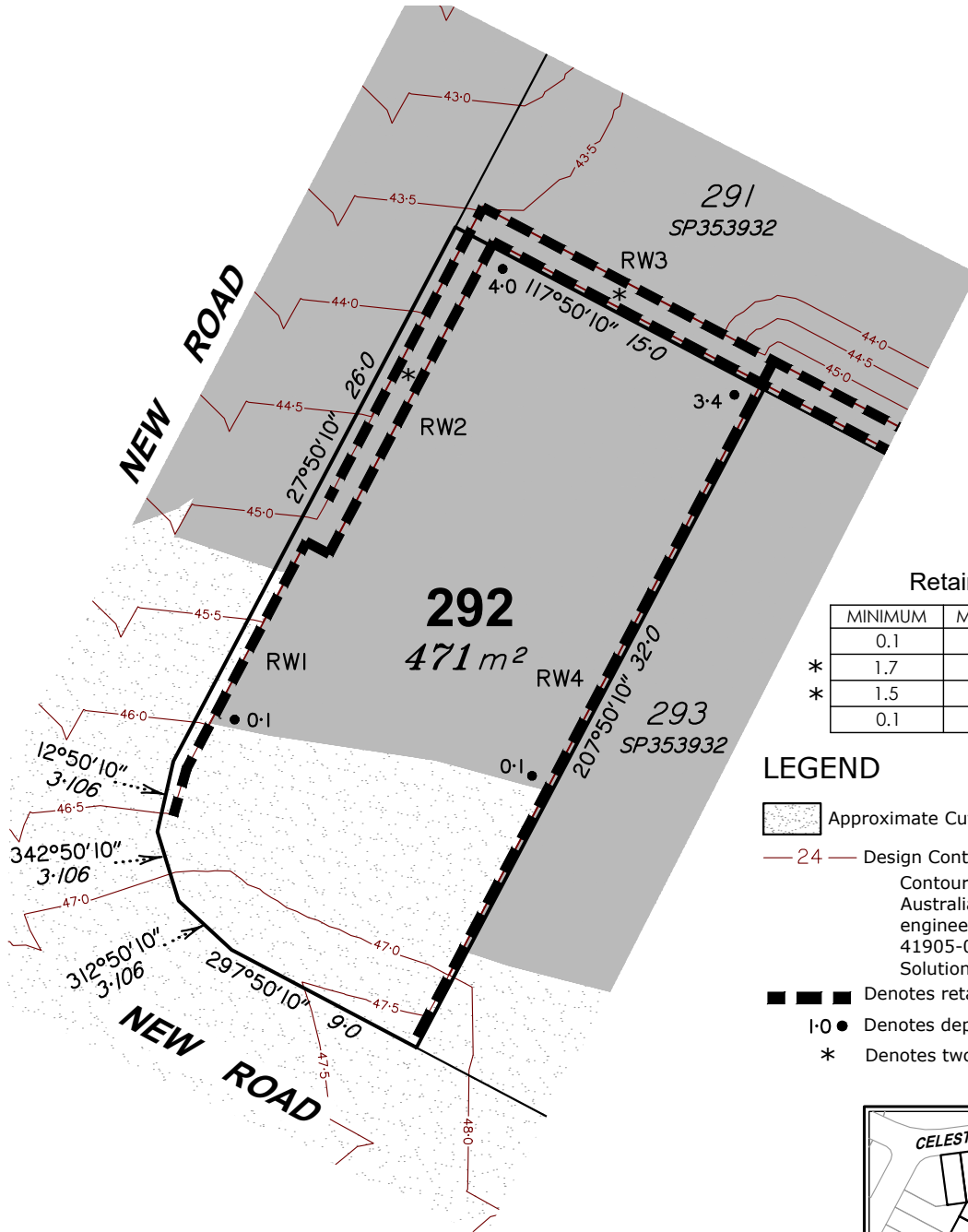
171101.project

Plan No:

171101_046_DIS

Lot 292

Stage 5

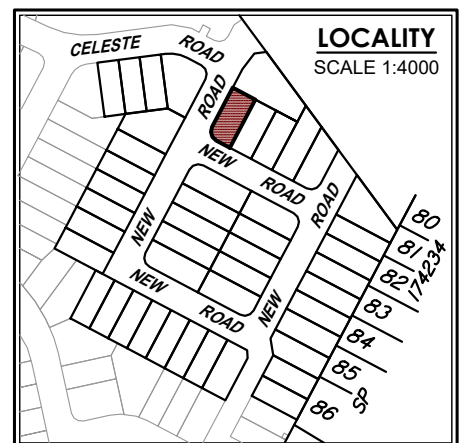


Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	0.1	1.5	0.8	RW1
*	1.7	3.0	2.35	RW2
*	1.5	2.9	2.2	RW3
	0.1	1.5	0.8	RW4

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 0.1 Denotes depth of fill
- Denotes two tier retaining wall



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 292 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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A	Original Issue	GJF	26/02/2025
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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 292 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and changes

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

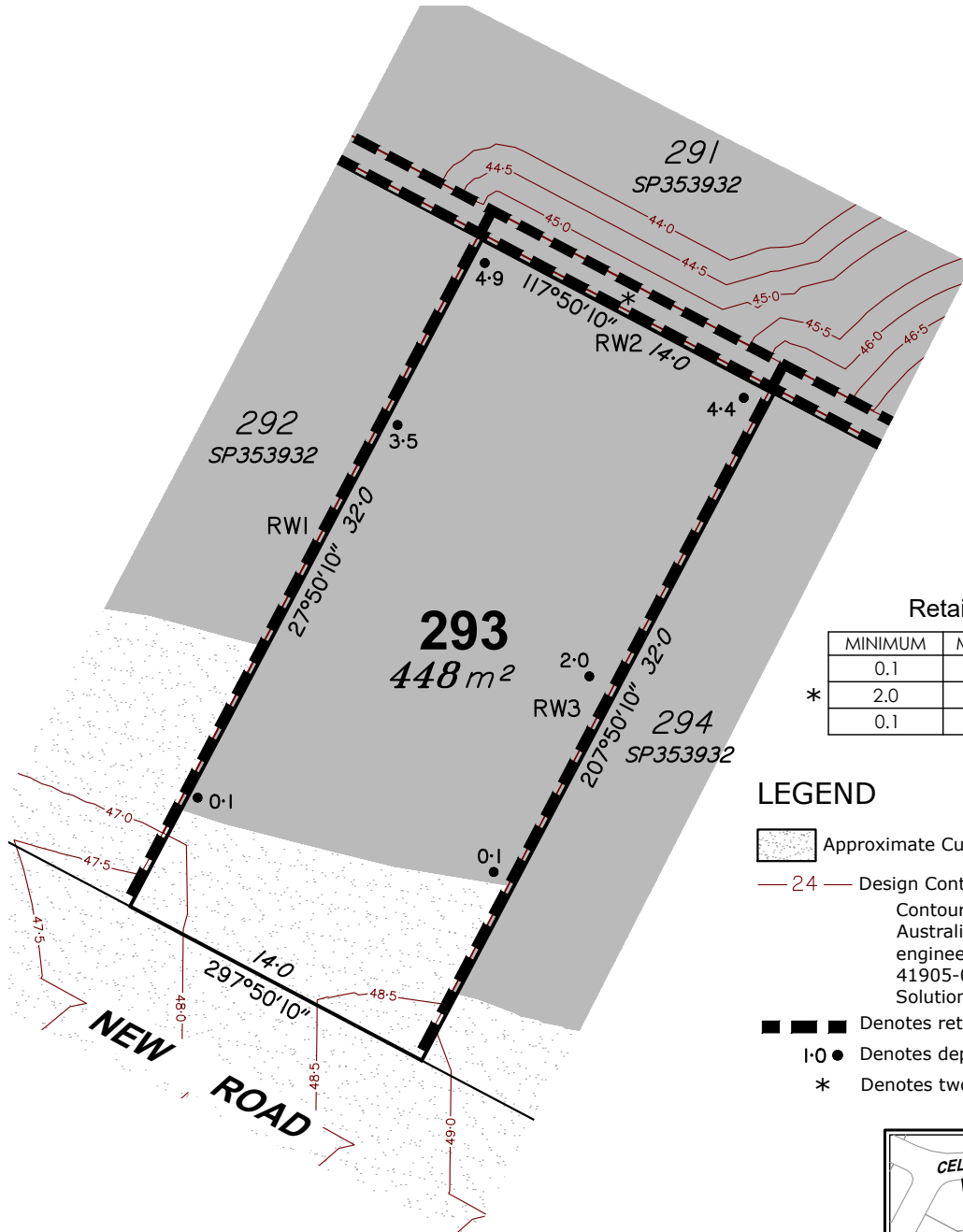
171101.project

Plan No:

171101_046_DIS

Lot 293

Stage 5

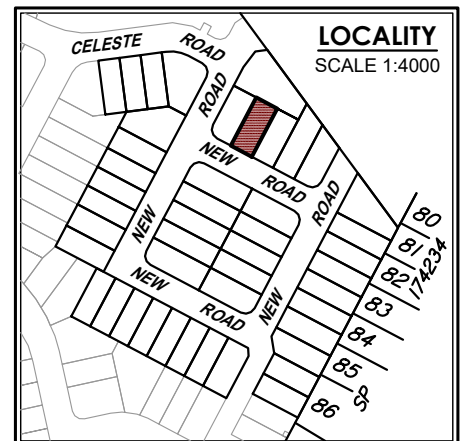


Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	0.1	1.5	0.8	RW1
*	2.0	2.9	2.45	RW2
	0.1	1.2	0.65	RW3

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 1.0 Denotes depth of fill
- Denotes two tier retaining wall



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 293 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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A	Original Issue	GJF	26/02/2025
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Title:

Disclosure Plan for Lot 293 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

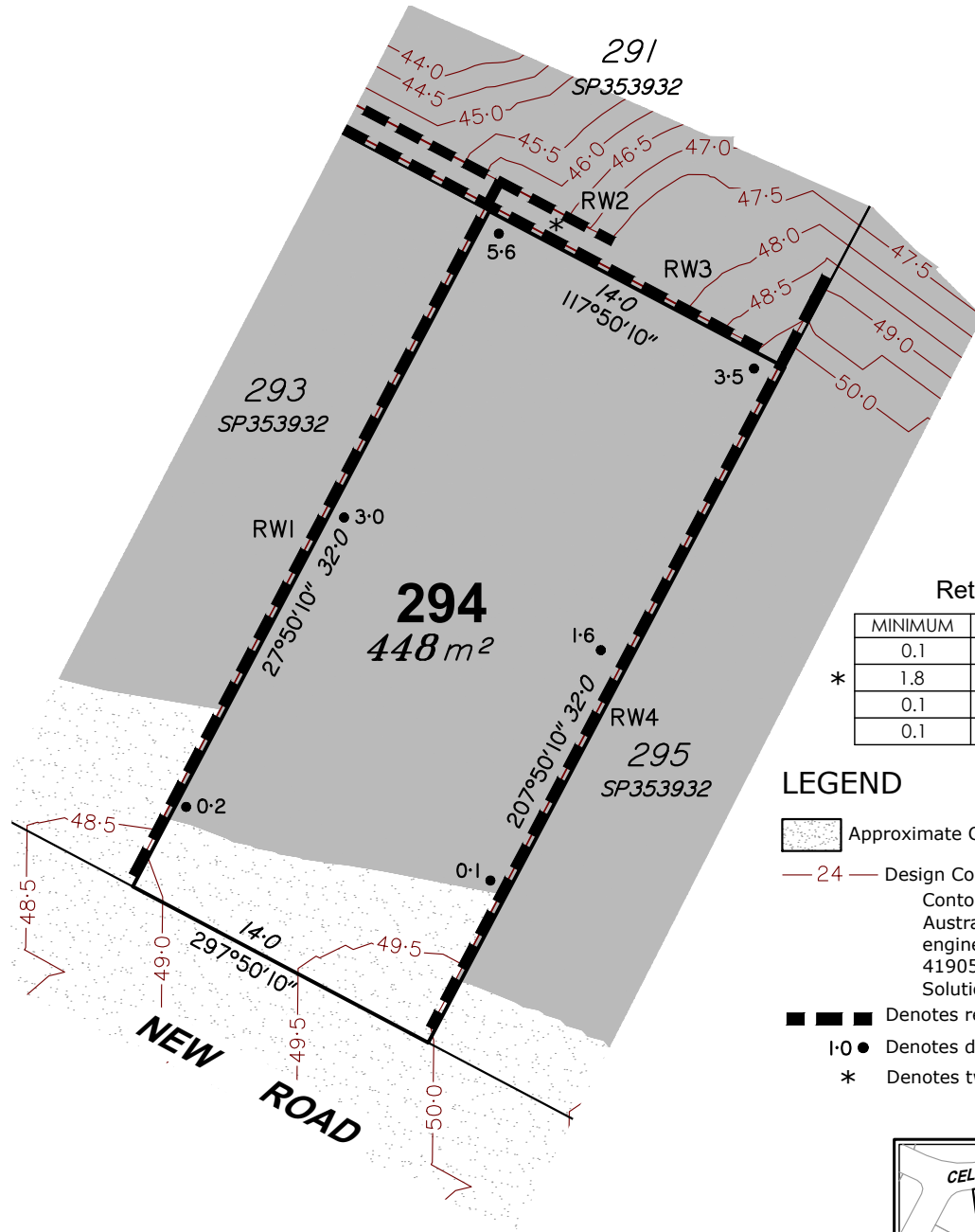
171101.project

Plan No:

171101_046_DIS

Lot 294

Stage 5

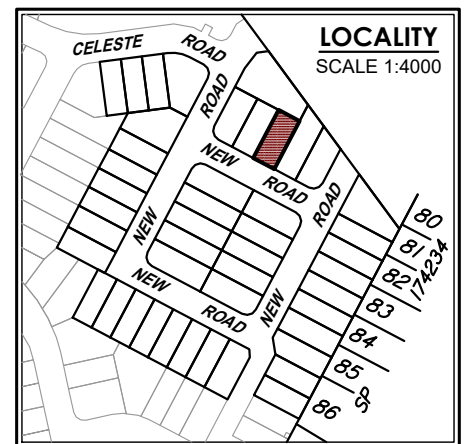


Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	0.1	1.2	0.65	RW1
*	1.8	3.0	2.4	RW2
	0.1	1.5	0.8	RW3
	0.1	1.0	0.55	RW4

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 294 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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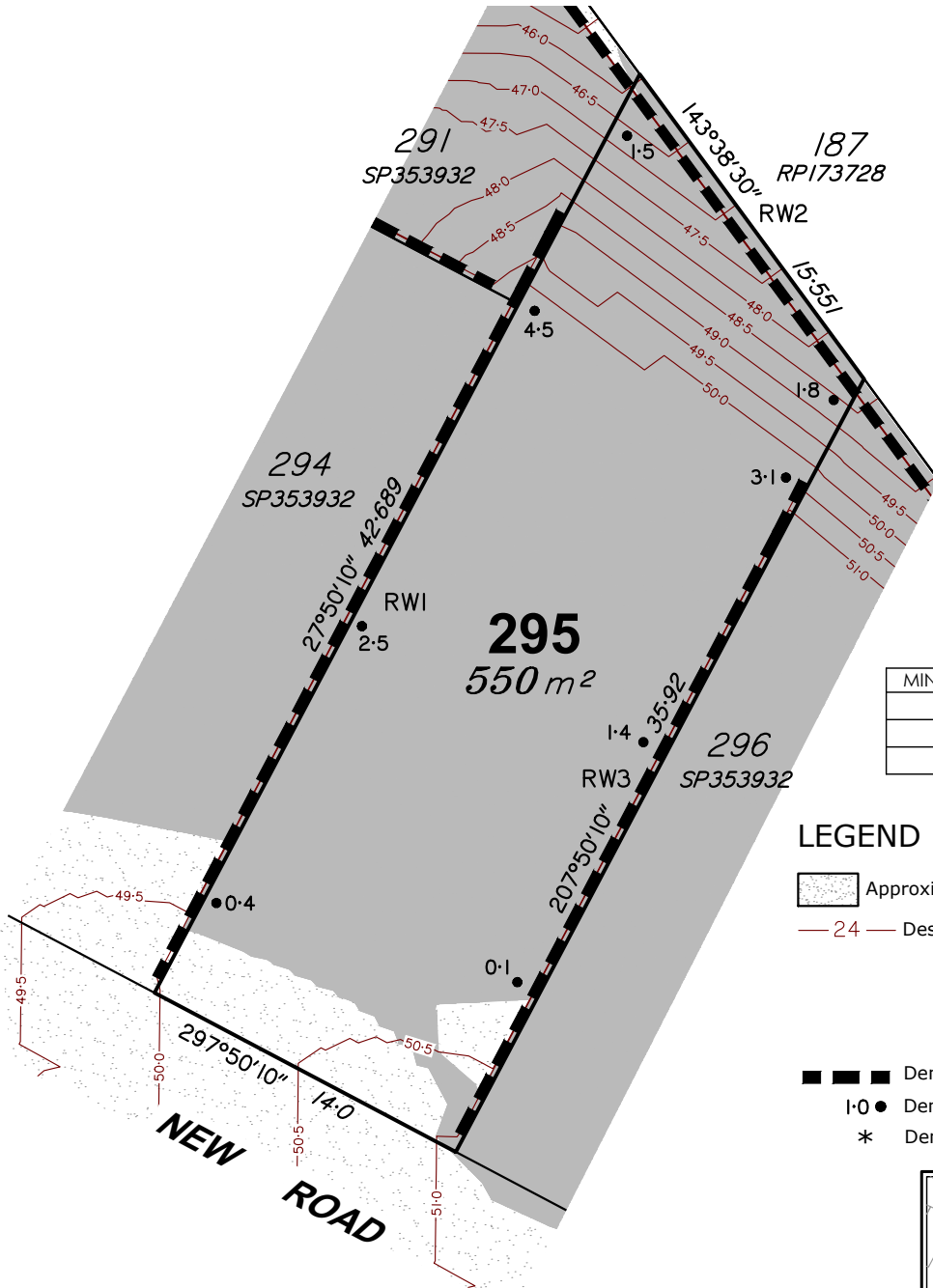
Title: **Disclosure Plan for Lot 294 on SP353932**
Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	GJF
Surveyed By:	JS	Approved:	SWM
Date Created:	26/02/2025	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_046_DIS		

Lot 295

Stage 5

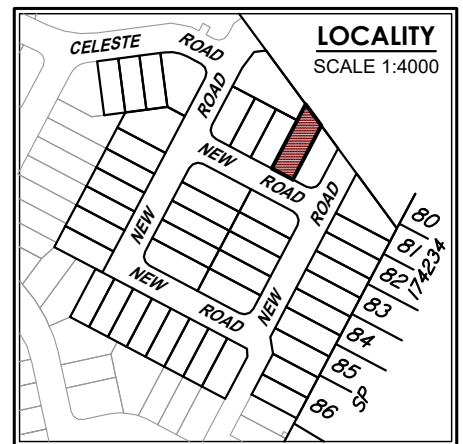


Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.0	0.55	RW1
1.5	1.5	1.5	RW2
0.1	1.1	0.6	RW3

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- Denotes depth of fill
- Denotes two tier retaining wall



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 295 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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Issue	Revision	Int	Date
A	Original Issue	GJF	26/02/2025



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Title:

Disclosure Plan for Lot 295 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and changes

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

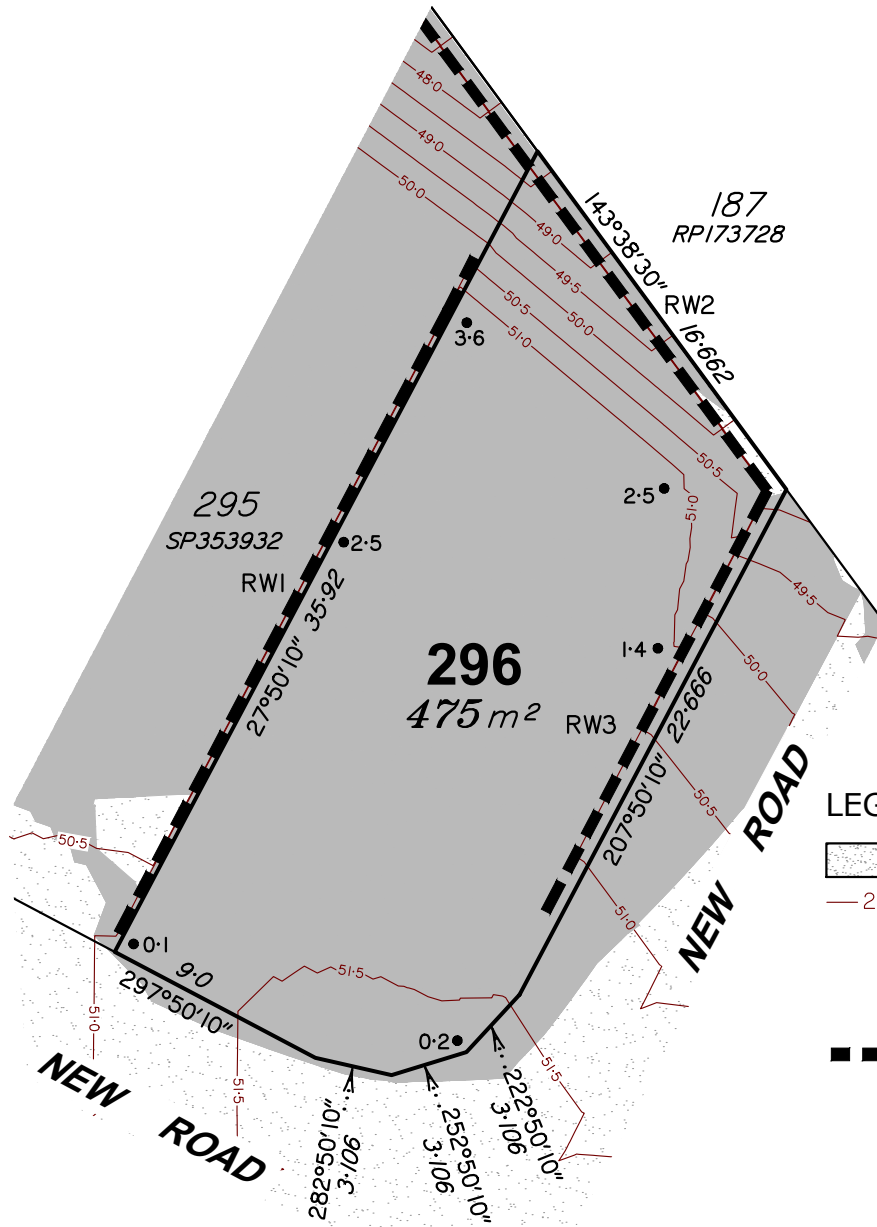
171101.project

Plan No:

171101_046_DIS

Lot 296

Stage 5

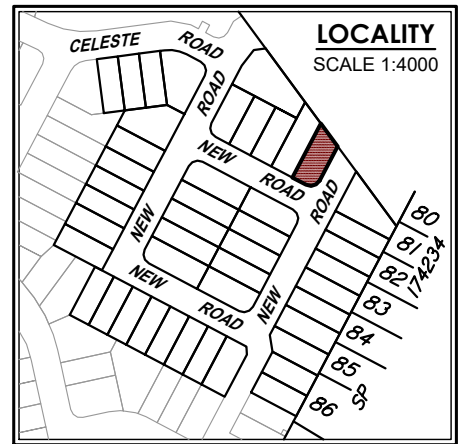


Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.1	0.6	RW1
1.5	1.5	1.5	RW2
0.1	1.5	0.8	RW3

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-05-000 to 41905-05-710 provided by Mortons Urban Solutions. (COM/2024/349-10/01/2025)
- Denotes retaining wall height
- 1.0 Denotes depth of fill
- * Denotes two tier retaining wall



Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval : 0.5m.
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Lot 296 on proposal plan 171101_021_PRO Rev E which accompanied the Subdivision Application and was approved by Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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Title:

Disclosure Plan for Lot 296 on SP353932

Courtney Drive, Upper Coomera
Cancelling Lot 904 on SP351084

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and bearings

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: GJF

Surveyed By: JS

Approved: SWM

Date Created: 26/02/2025

Scale: 1:300

Comp File:

171101.project

Plan No:

171101_046_DIS