





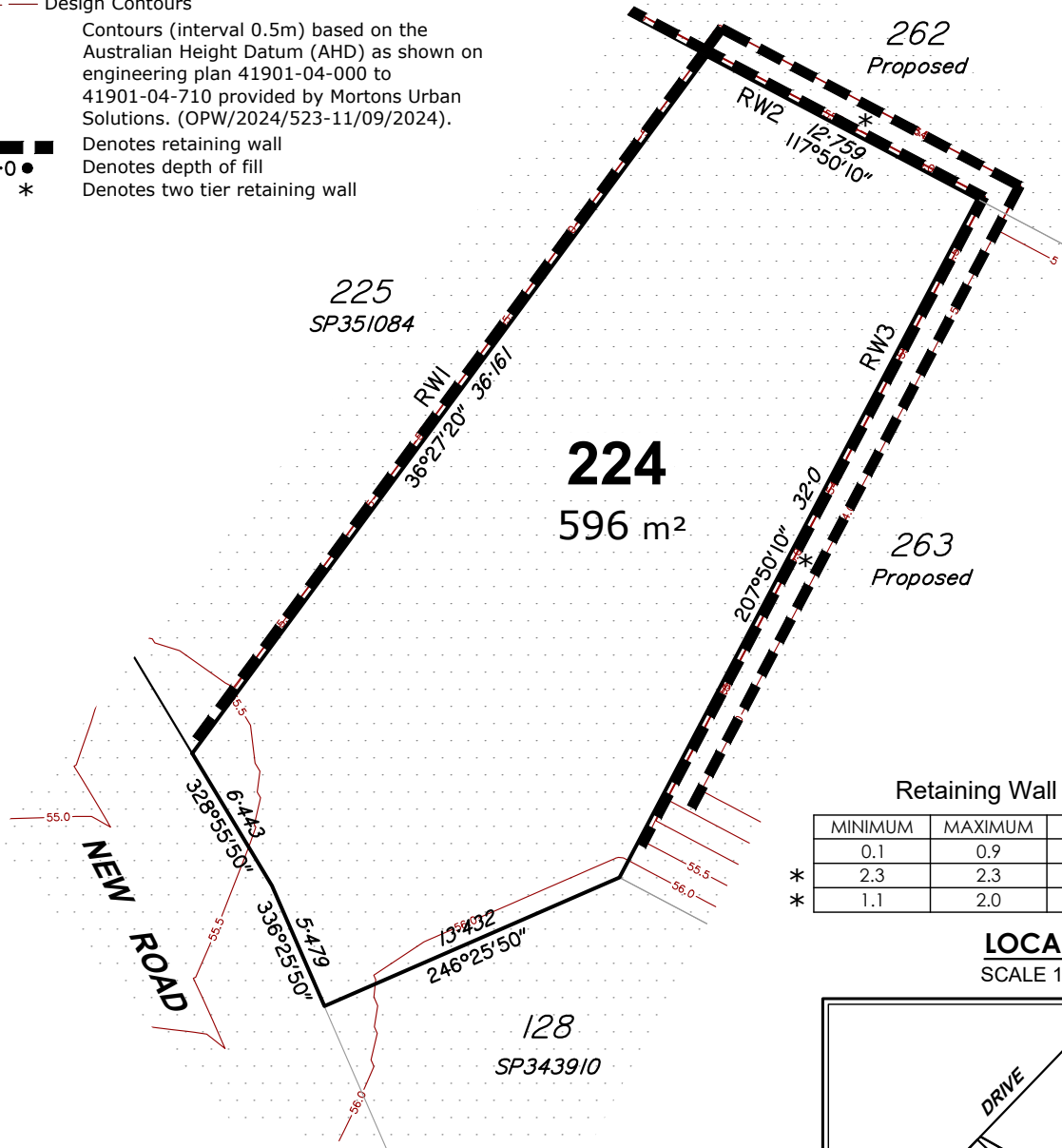


# LEGEND

-  Approximate Cut Area
-  Approximate Fill Area
-  24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
-  Denotes retaining wall
-  1.0 ● Denotes depth of fill
-  \* Denotes two tier retaining wall

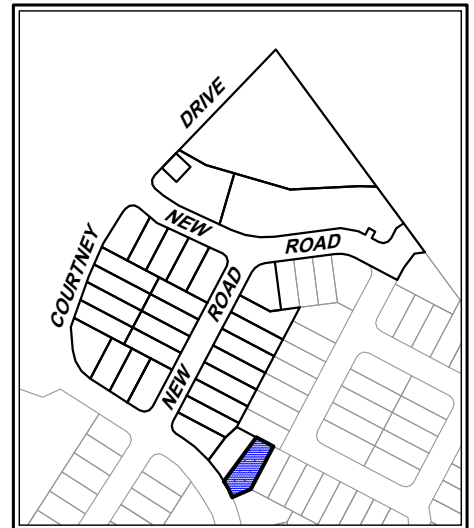
# Lot 224



### Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT
RW1	0.1	0.9	0.5
RW2	* 2.3	2.3	2.3
RW3	* 1.1	2.0	1.55

### LOCALITY SCALE 1:5000

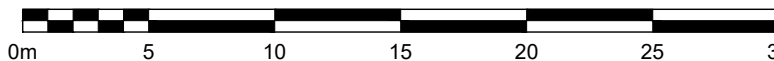


Scale 1:300

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 224 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Revision A - Original Plan Issue 18/10/2024 (SCO)



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

## Title: Disclosure Plan for Lot 224 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

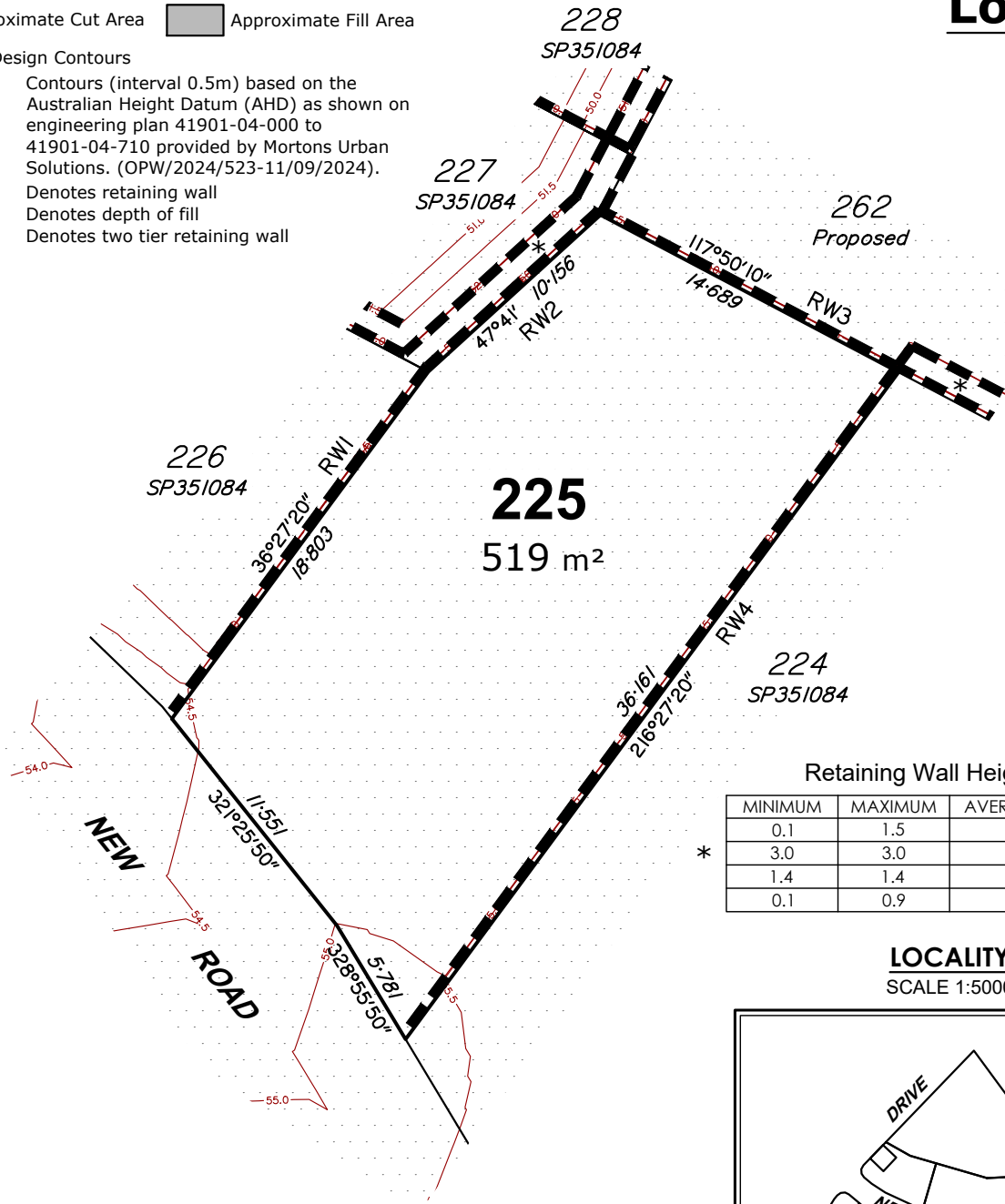
Client: **HB AUSTRALIA  
PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	<b>171101_039_DIS</b>		

# LEGEND

-  Approximate Cut Area
-  Approximate Fill Area
-  24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
-  Denotes retaining wall
-  1.0 Denotes depth of fill
-  \* Denotes two tier retaining wall

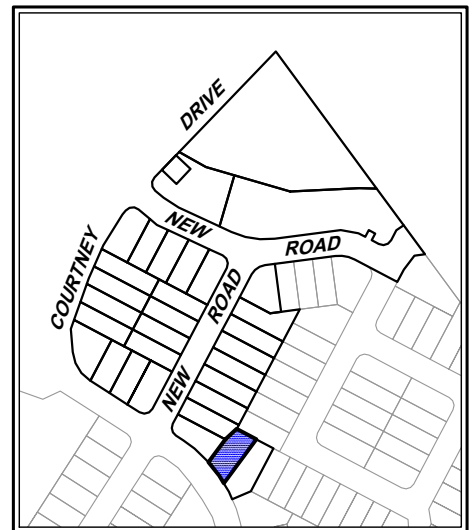
# Lot 225



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
3.0	3.0	3.0	RW2
1.4	1.4	1.4	RW3
0.1	0.9	0.5	RW4

LOCALITY  
SCALE 1:5000

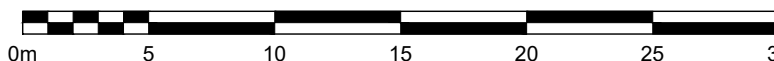


Scale 1:300

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 225 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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Title: **Disclosure Plan for Lot 225 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

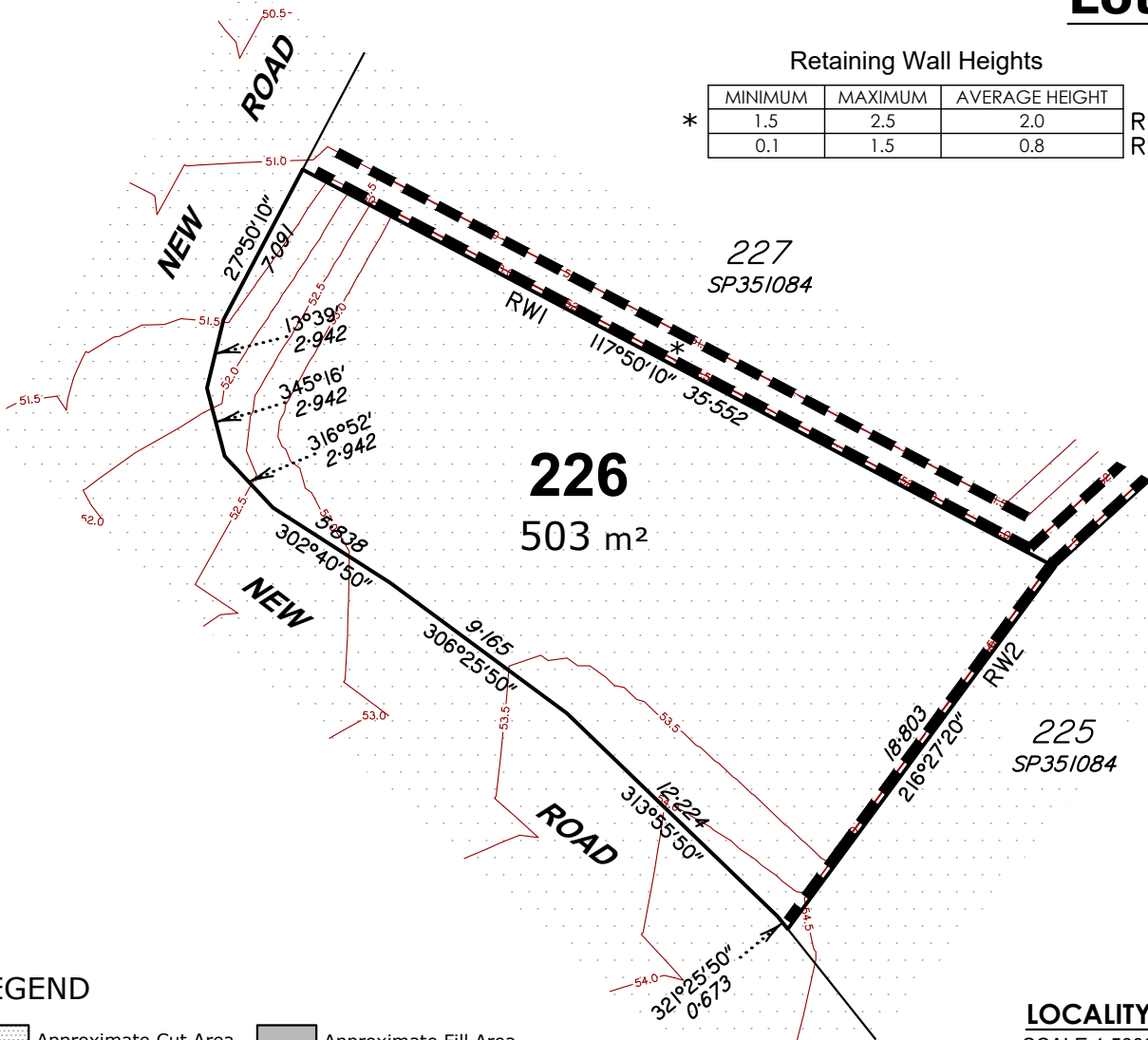
Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

# Lot 226

## Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	1.5	2.5	2.0	RW1
	0.1	1.5	0.8	RW2

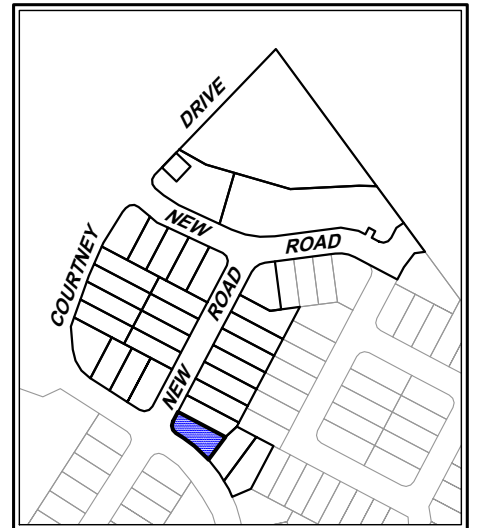


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 Denotes depth of fill
- \* Denotes two tier retaining wall

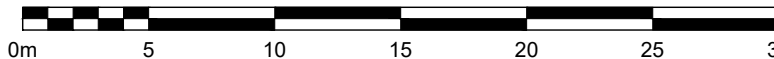
## LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 226**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

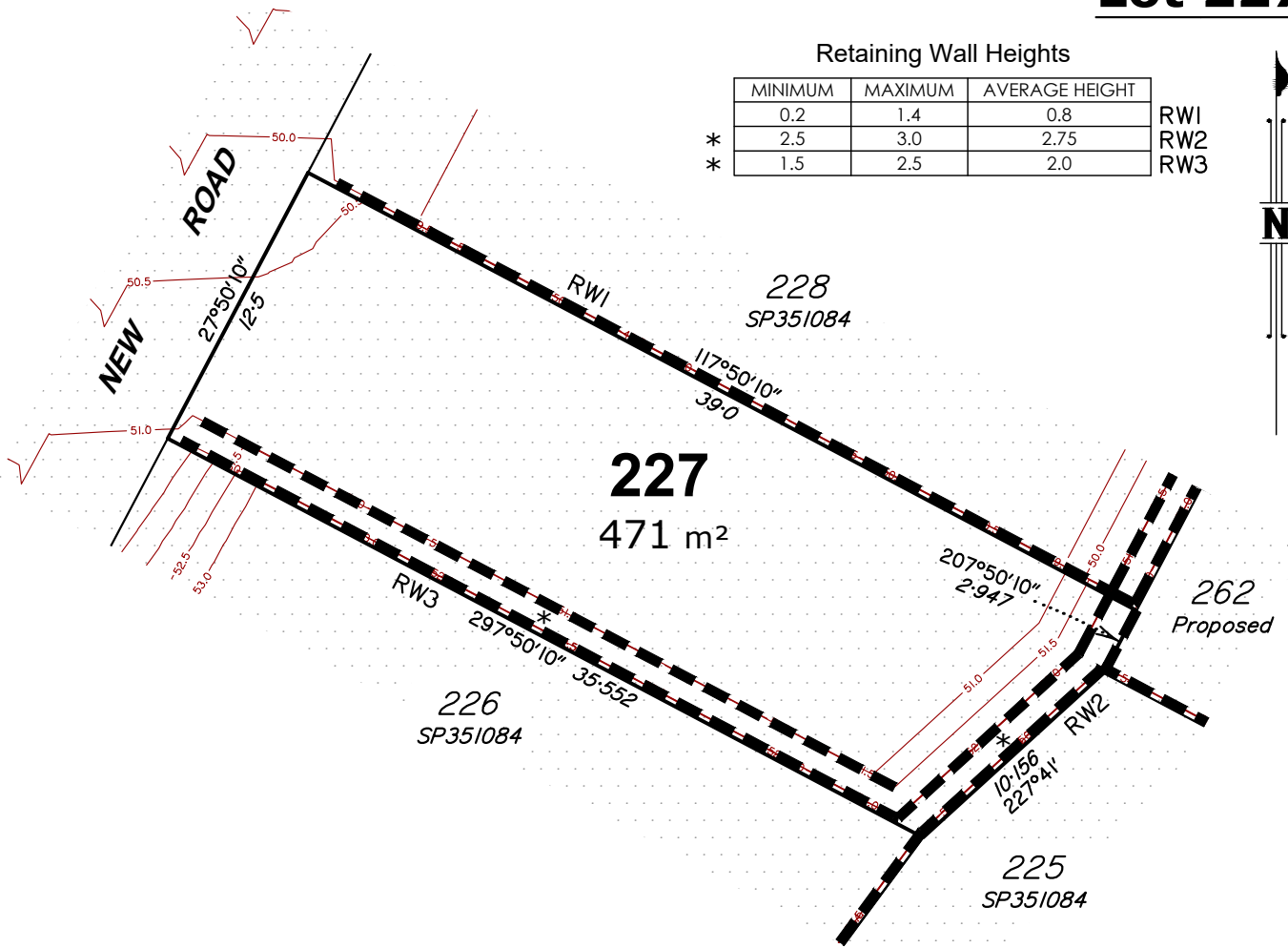
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 227

## Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	0.2	1.4	0.8	RW1
*	2.5	3.0	2.75	RW2
*	1.5	2.5	2.0	RW3

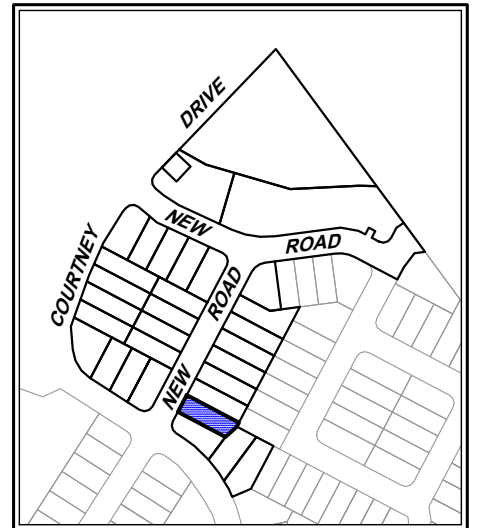


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

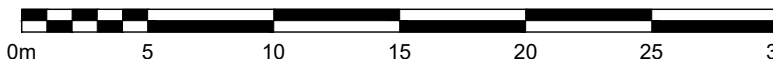
## LOCALITY

SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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Title: **Disclosure Plan for Lot 227**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

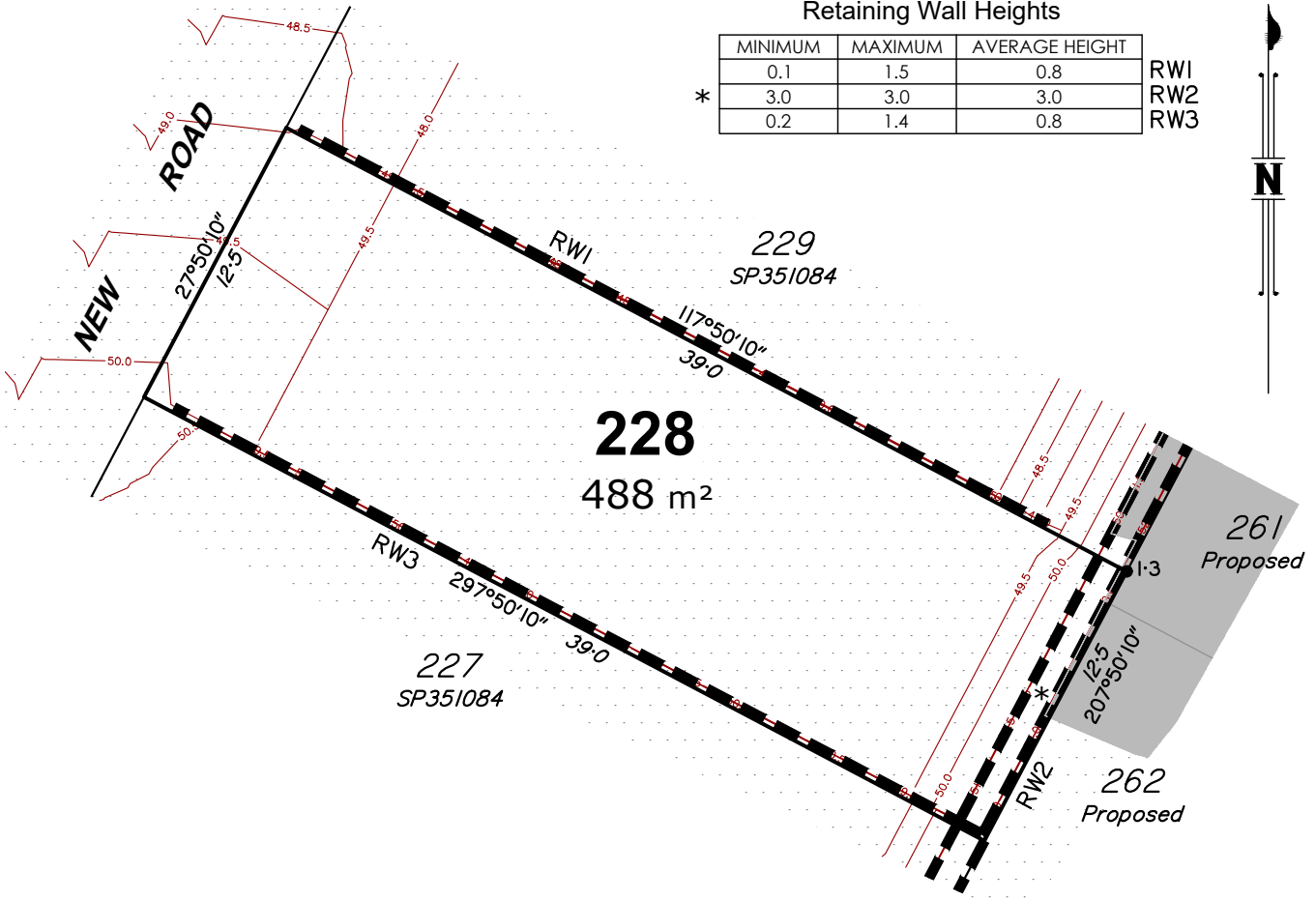
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 228

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
* 3.0	3.0	3.0
0.2	1.4	0.8

RW1  
RW2  
RW3

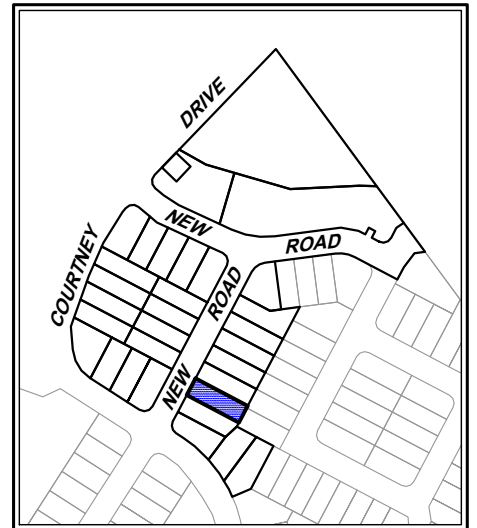


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

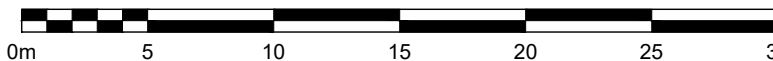
## LOCALITY

SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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Title: **Disclosure Plan for Lot 228**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>

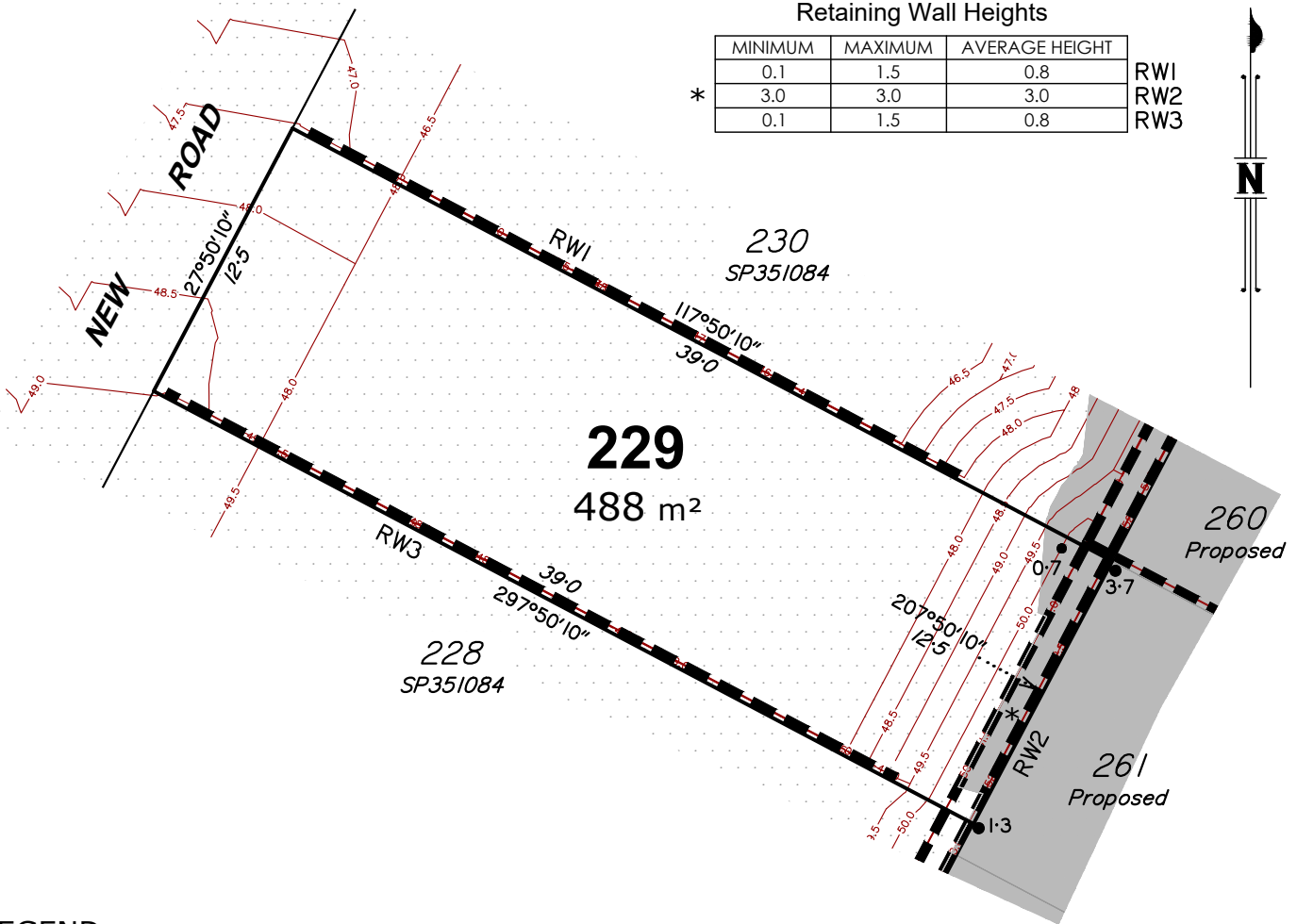
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 229

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
3.0	3.0	3.0
0.1	1.5	0.8

RW1  
RW2  
RW3



## LEGEND

Approximate Cut Area    Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

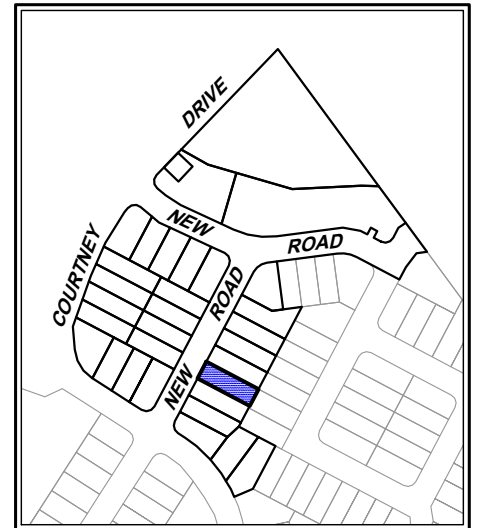
Denotes retaining wall  
 1-0 ● Denotes depth of fill  
 \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 229 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

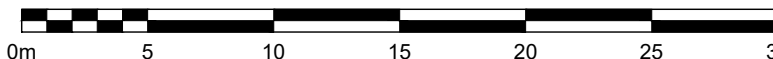
## LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 229**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>

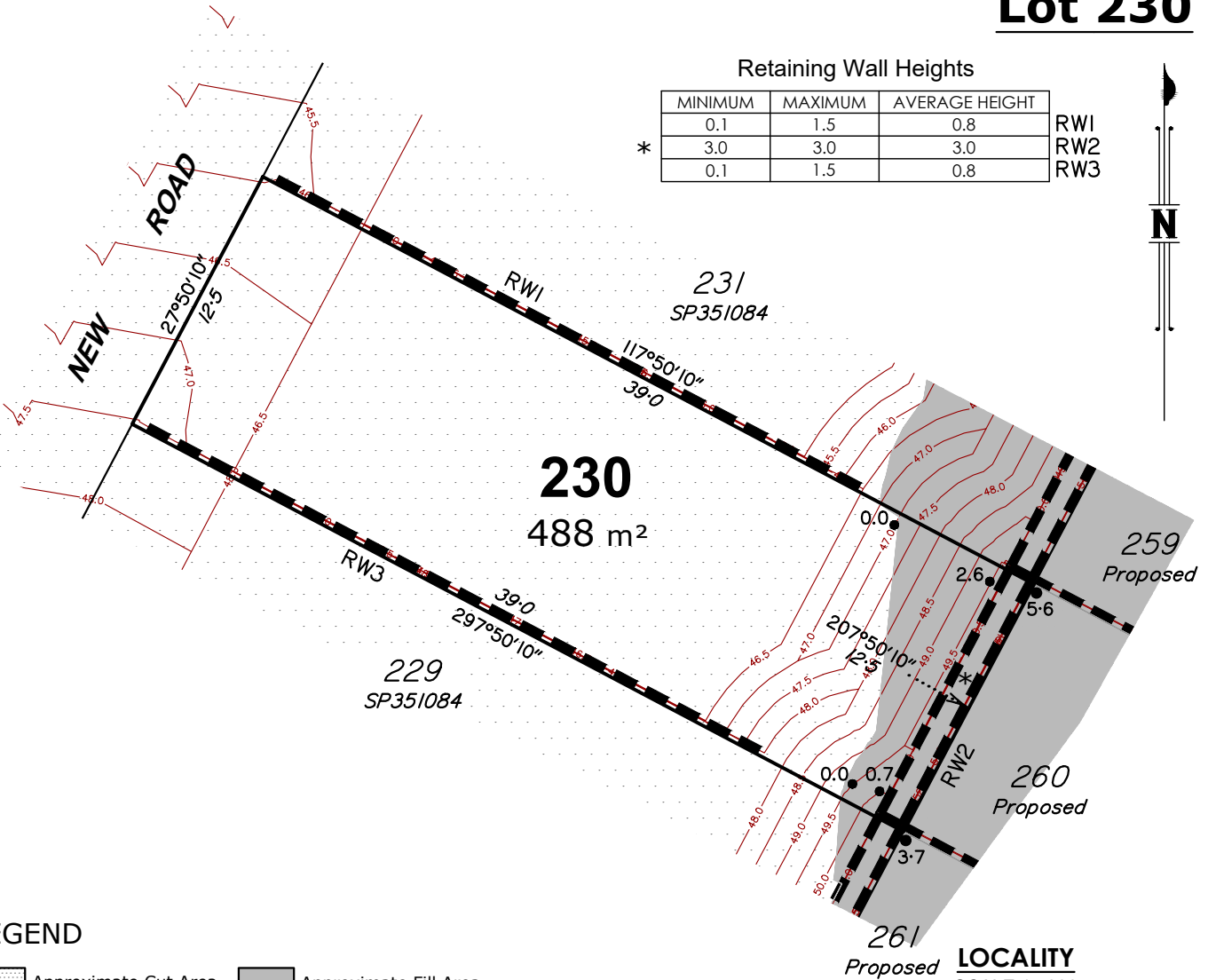
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 230

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
3.0	3.0	3.0
0.1	1.5	0.8

RW1  
RW2  
RW3



## LEGEND

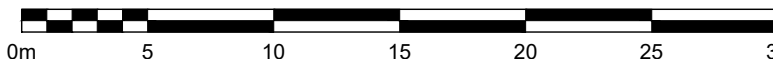
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

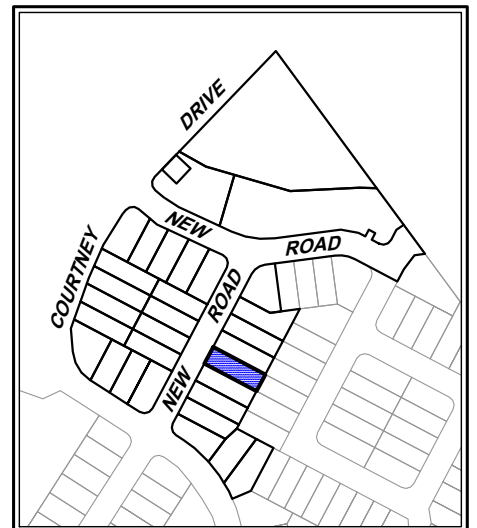
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 230 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



LOCALITY  
SCALE 1:5000



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Title: **Disclosure Plan for Lot 230**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>

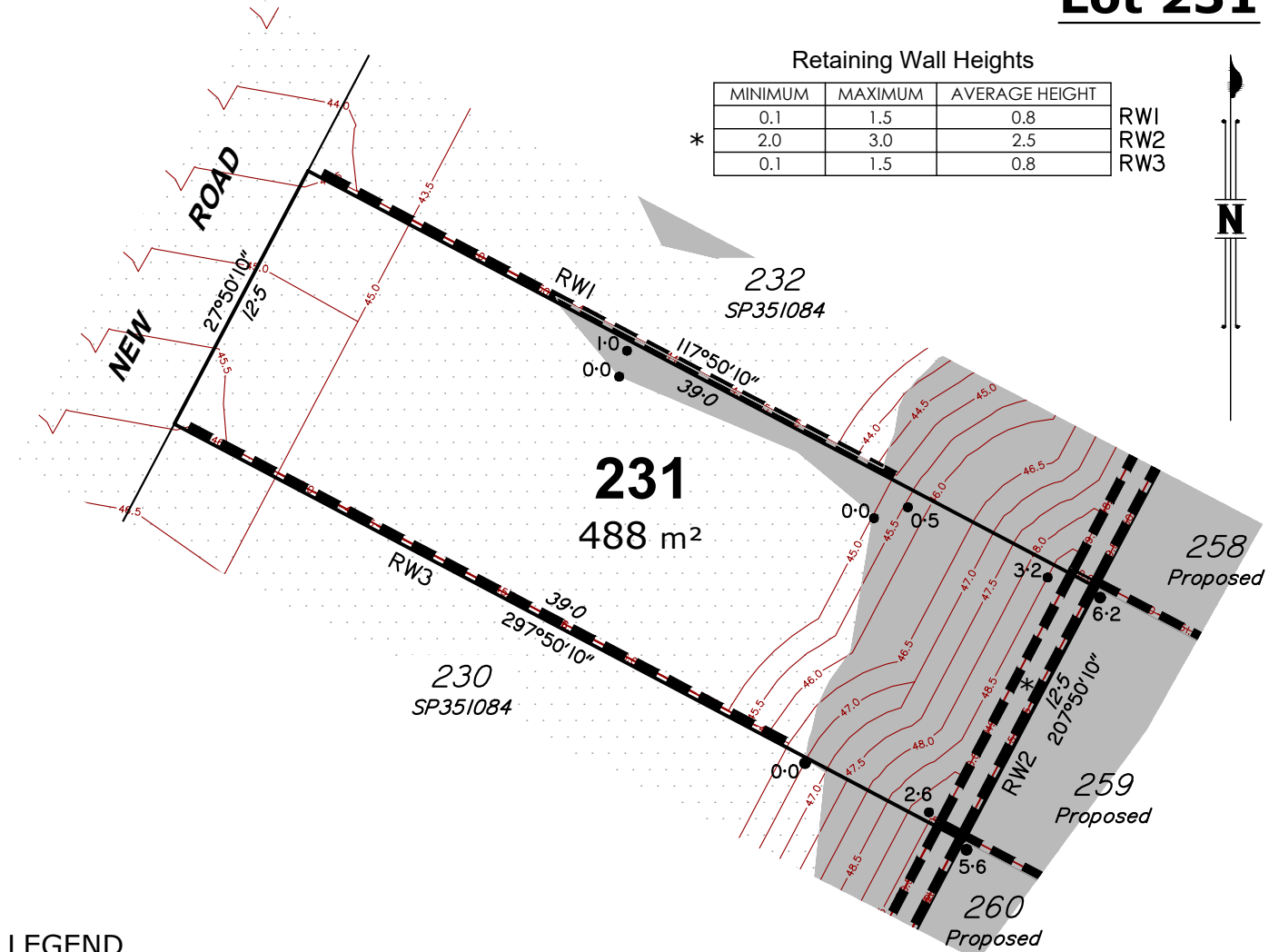
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 231

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
2.0	3.0	2.5
0.1	1.5	0.8

RW1  
RW2  
RW3



## LEGEND

Approximate Cut Area    Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

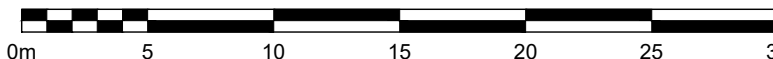
Denotes retaining wall  
 1-0 Denotes depth of fill  
 \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 231 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

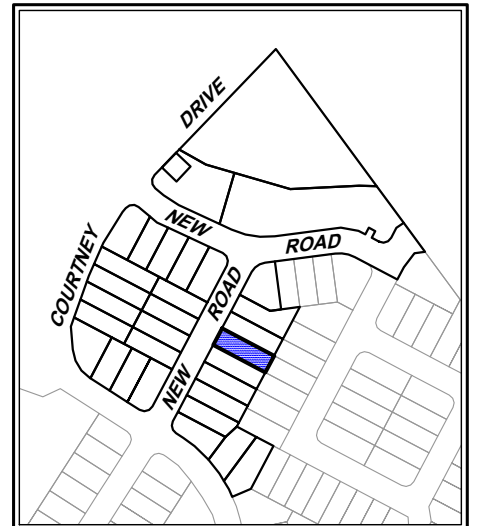
Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



## LOCALITY

SCALE 1:5000



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Title: **Disclosure Plan for Lot 231**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality: UPPER COOMERA  
 Local Gov: GCCC    Prepared By: SDS  
 Surveyed By: JS    Approved: SWM  
 Date Created: 12/9/2024    Scale: 1:300  
 Comp File: 171101.project  
 Plan No: **171101\_039\_DIS**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.



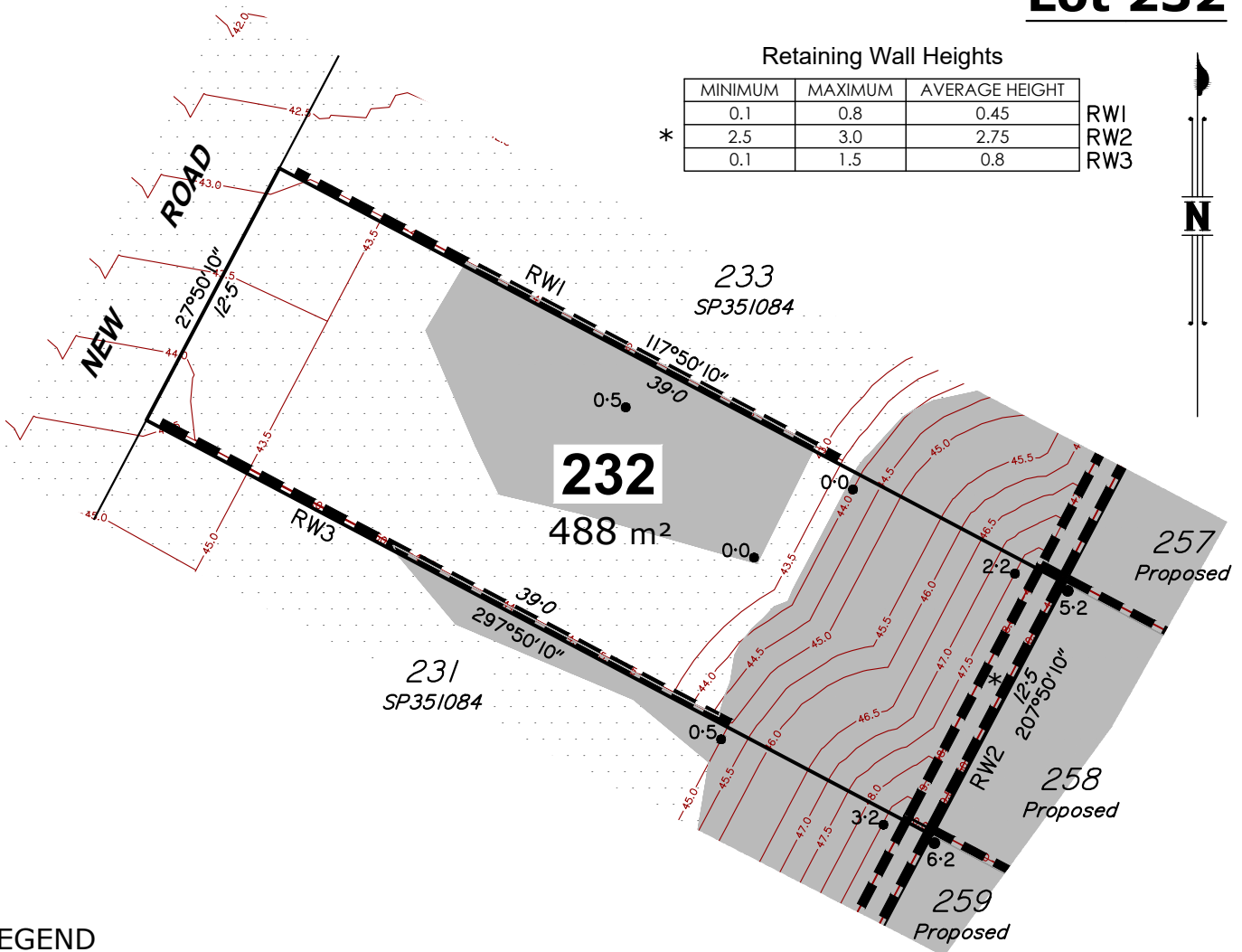
# Lot 232

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	0.8	0.45
2.5	3.0	2.75
0.1	1.5	0.8

RW1  
RW2  
RW3

\*



## LEGEND

Approximate Cut Area    Approximate Fill Area

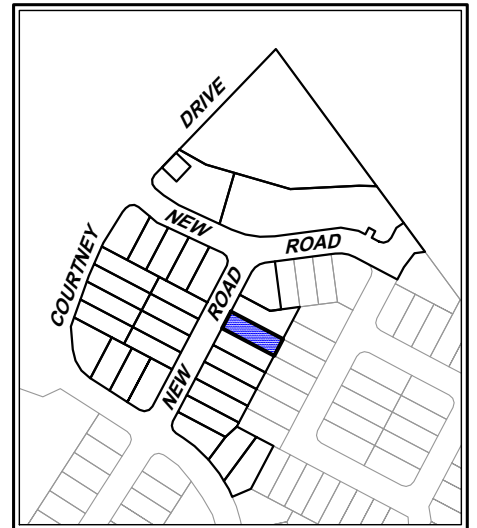
— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

Denotes retaining wall  
 1-0 ● Denotes depth of fill  
 \* Denotes two tier retaining wall

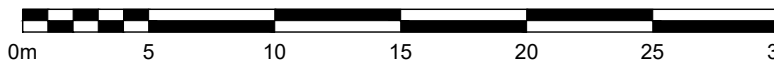
## LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 232**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

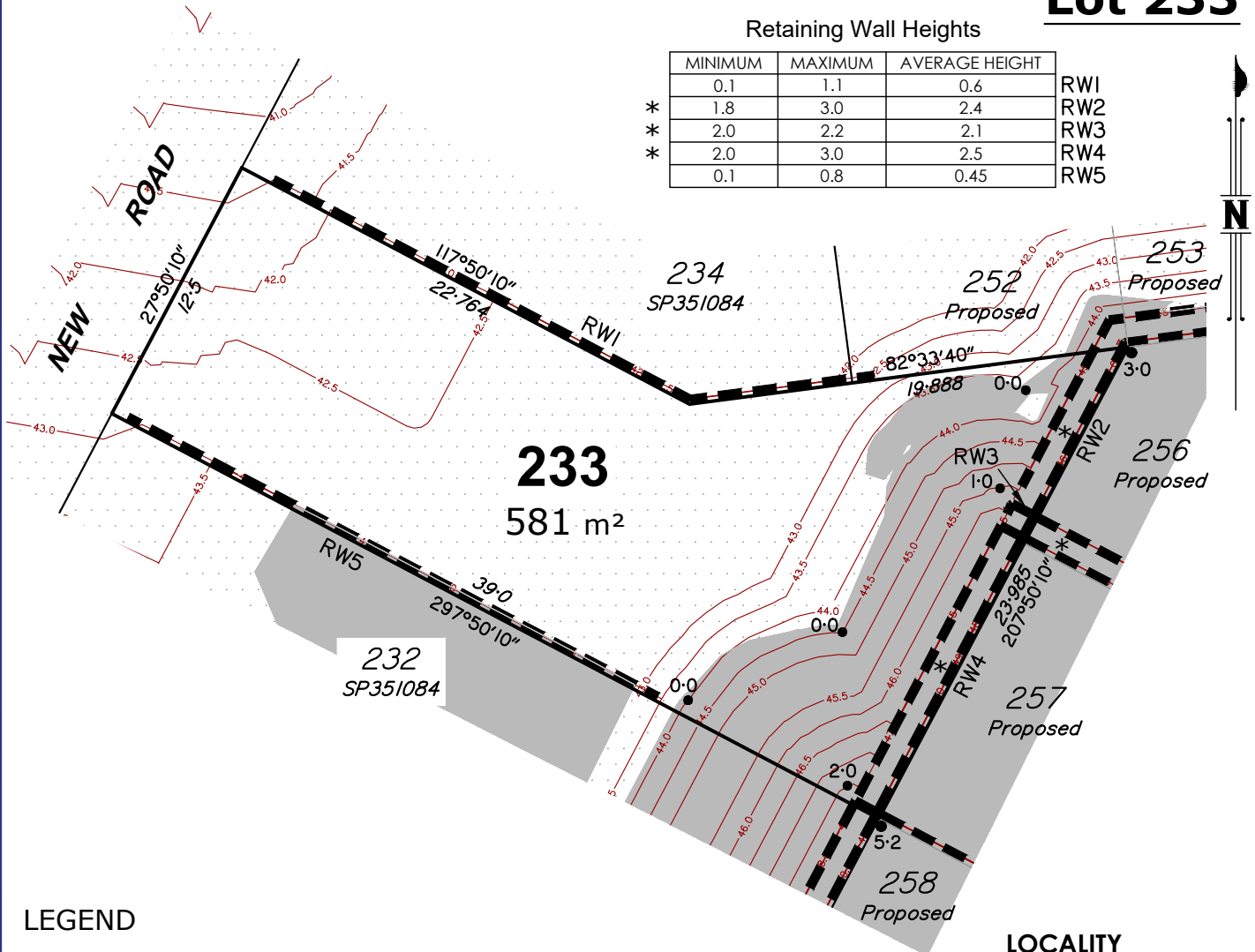
Locality: UPPER COOMERA  
 Local Gov: GCCC    Prepared By: SDS  
 Surveyed By: JS    Approved: SWM  
 Date Created: 12/9/2024    Scale: 1:300  
 Comp File: 171101.project  
 Plan No: **171101\_039\_DIS**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 233

## Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	0.1	1.1	0.6	RW1
*	1.8	3.0	2.4	RW2
*	2.0	2.2	2.1	RW3
*	2.0	3.0	2.5	RW4
	0.1	0.8	0.45	RW5

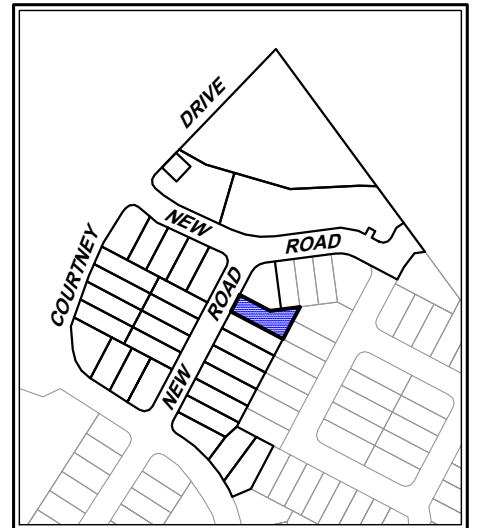


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

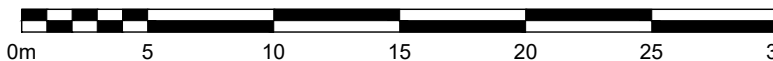
## LOCALITY

SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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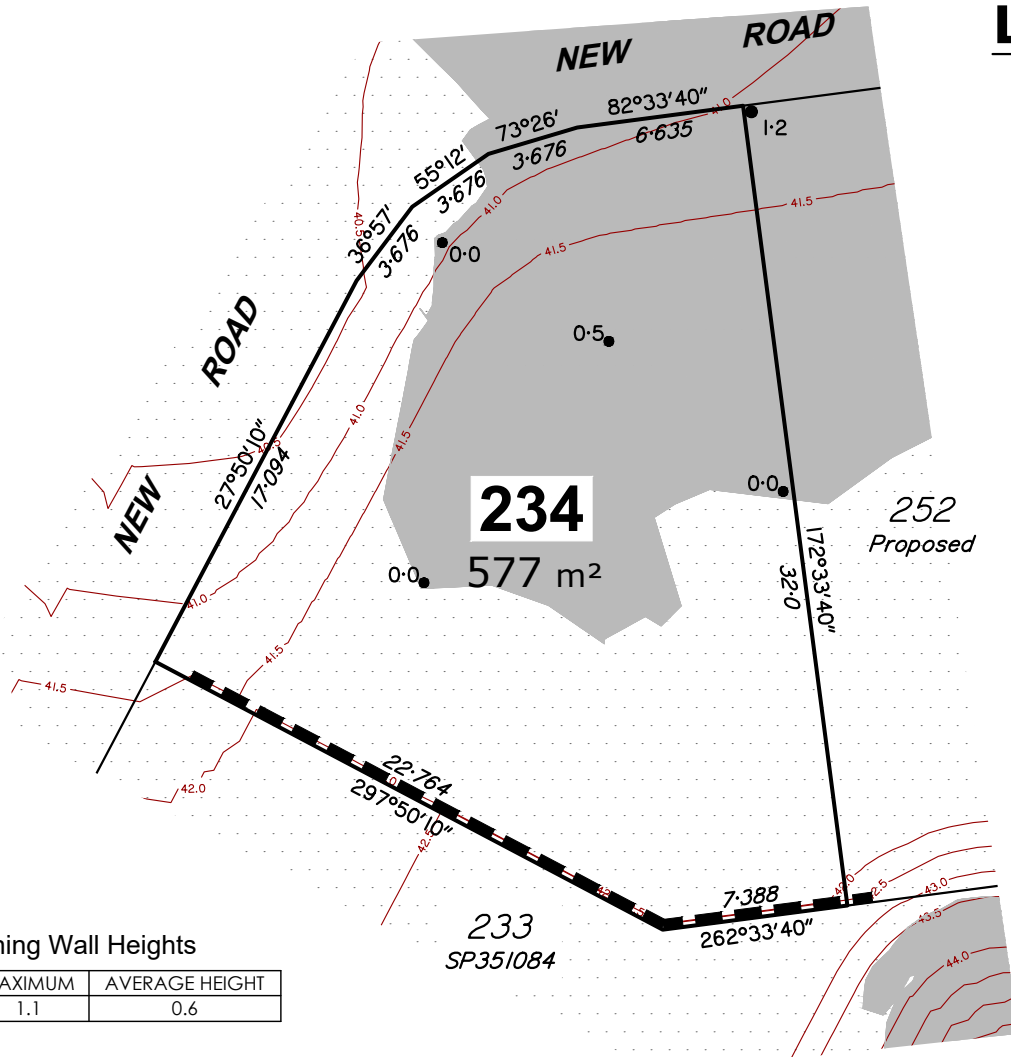
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## Title: Disclosure Plan for Lot 233 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		



### Retaining Wall Heights

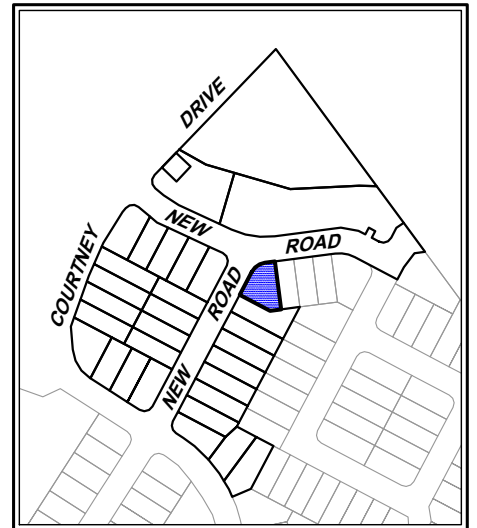
MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.1	0.6

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 Denotes depth of fill
- \* Denotes two tier retaining wall

### LOCALITY

SCALE 1:5000

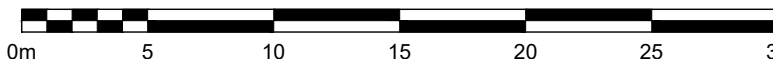


Scale 1:300

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 234 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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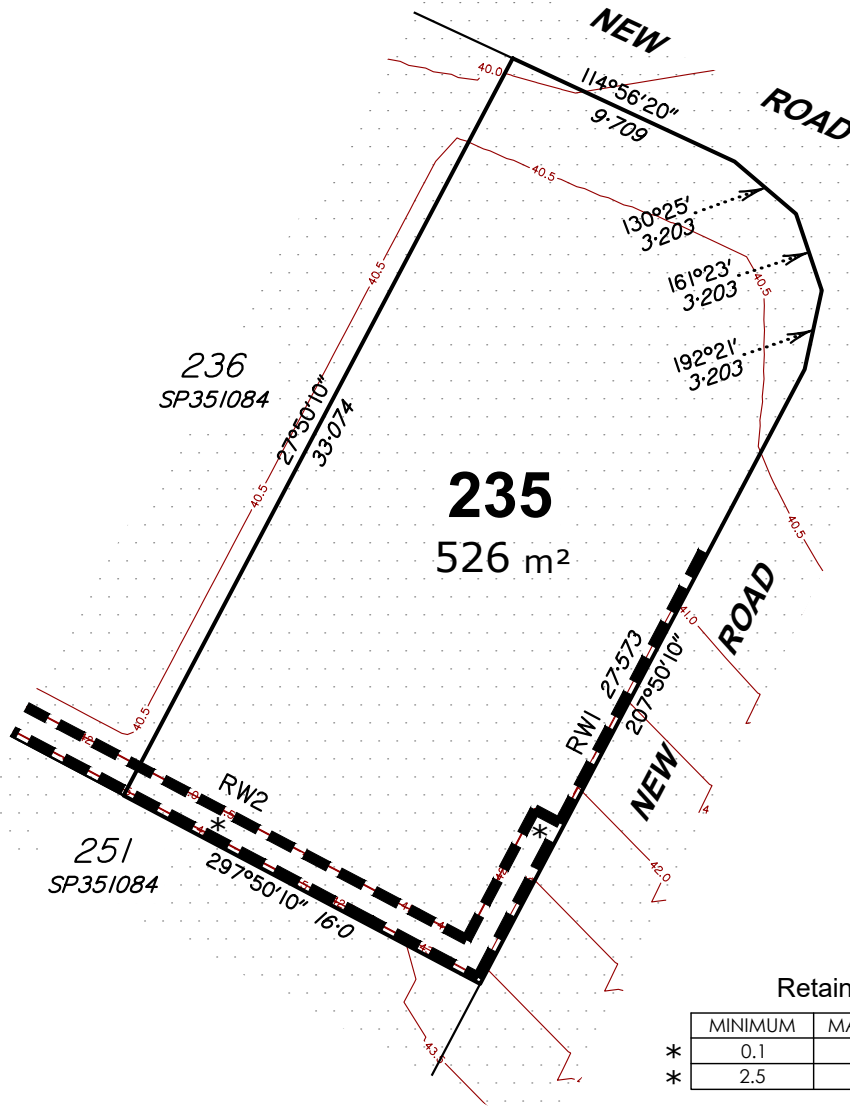
Title: **Disclosure Plan for Lot 234**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 235



### Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	0.1	3.0	1.55	RW1
*	2.5	3.0	2.75	RW2

## LEGEND

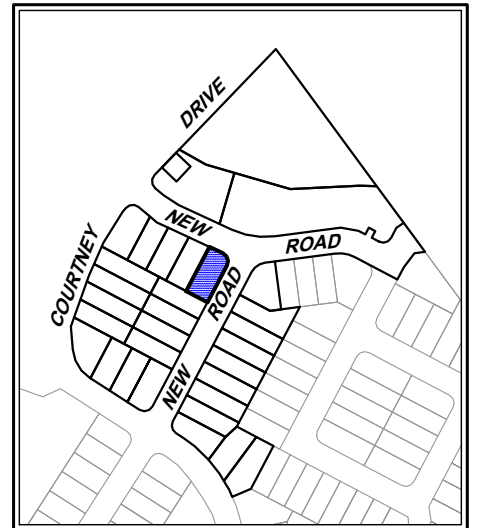
- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 235 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

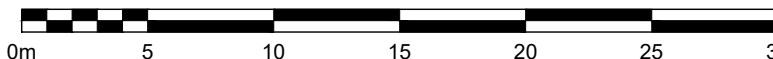
### LOCALITY

SCALE 1:5000



Scale 1:300

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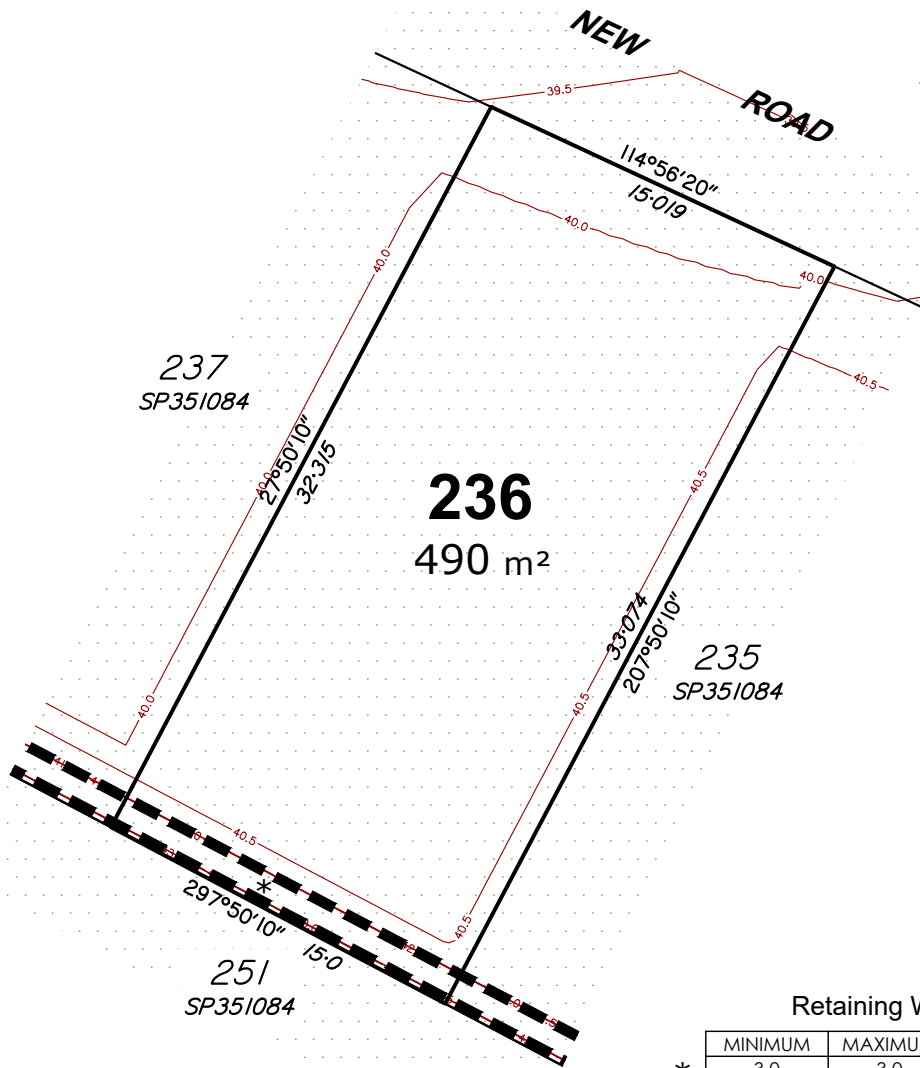
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## Title: Disclosure Plan for Lot 235 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
3.0	3.0	3.0

\* Denotes two tier retaining wall

### LEGEND

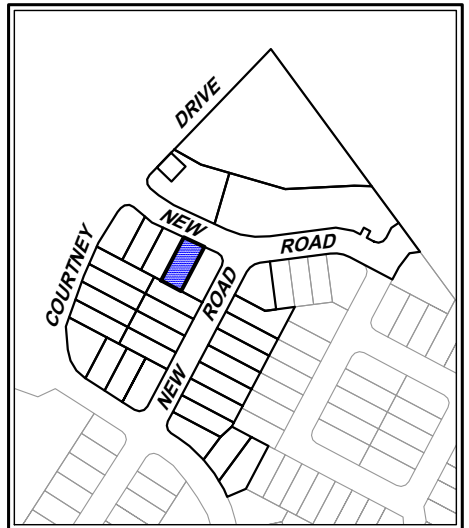
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 236 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

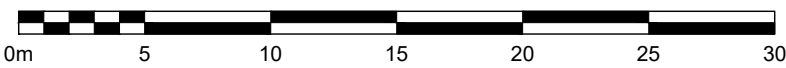
### LOCALITY

SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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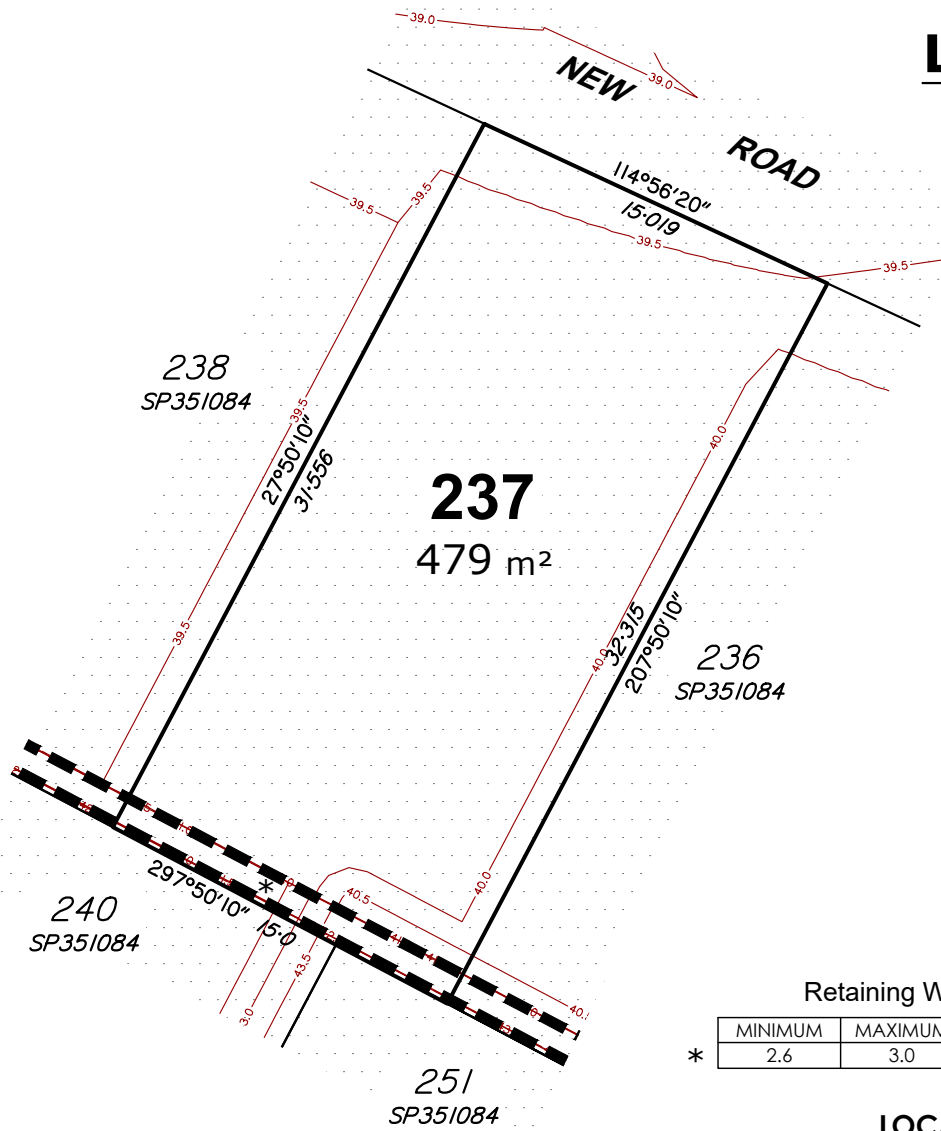
Title: **Disclosure Plan for Lot 236 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 237



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
2.6	3.0	2.8

\*

## LEGEND

Approximate Cut Area    Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

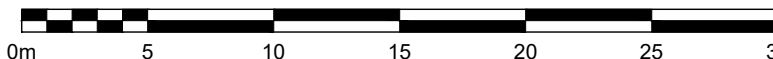
Denotes retaining wall  
 Denotes depth of fill  
 Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 237 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

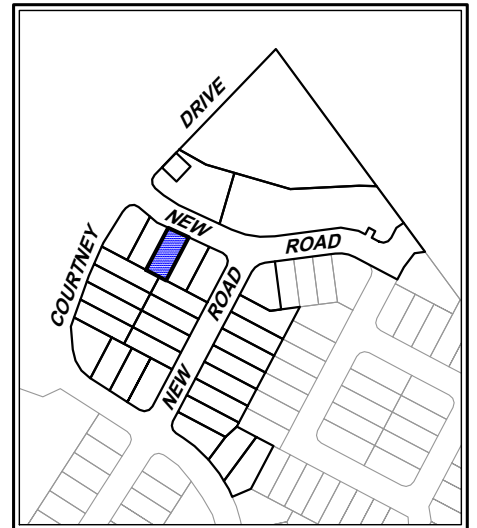
Scale 1:300

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## LOCALITY

SCALE 1:5000



Sheet 14 of 28



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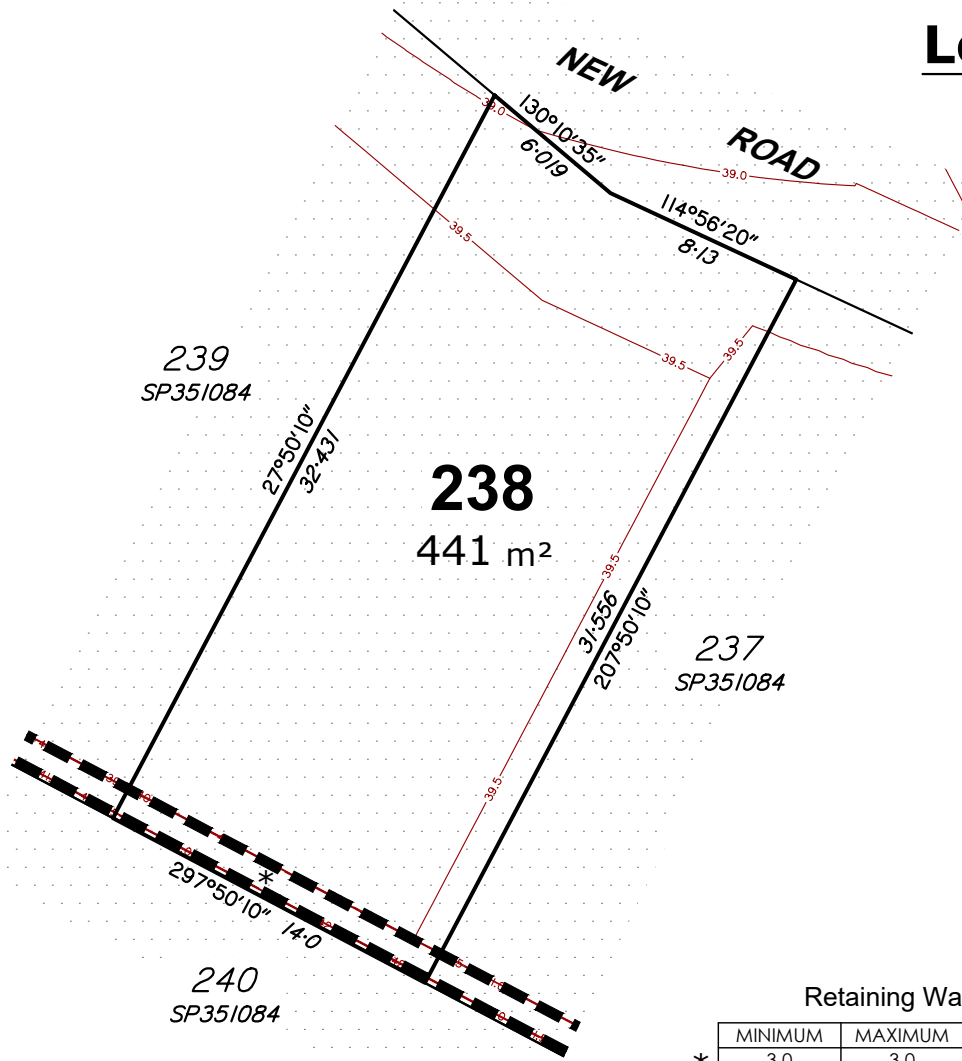
Title: **Disclosure Plan for Lot 237 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 238



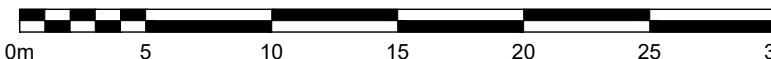
## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 238 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Revision A - Original Plan Issue 18/10/2024 (SCO)



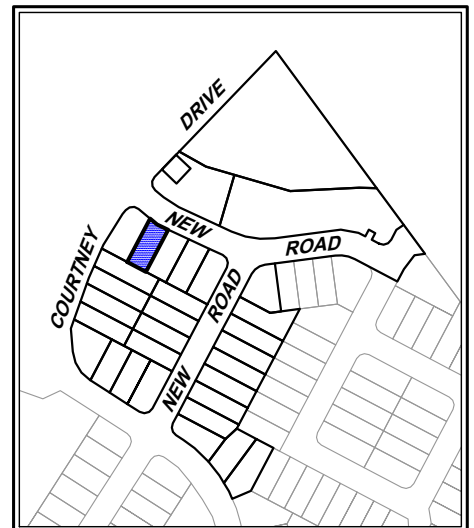
Scale 1:300

### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
3.0	3.0	3.0

### LOCALITY

SCALE 1:5000



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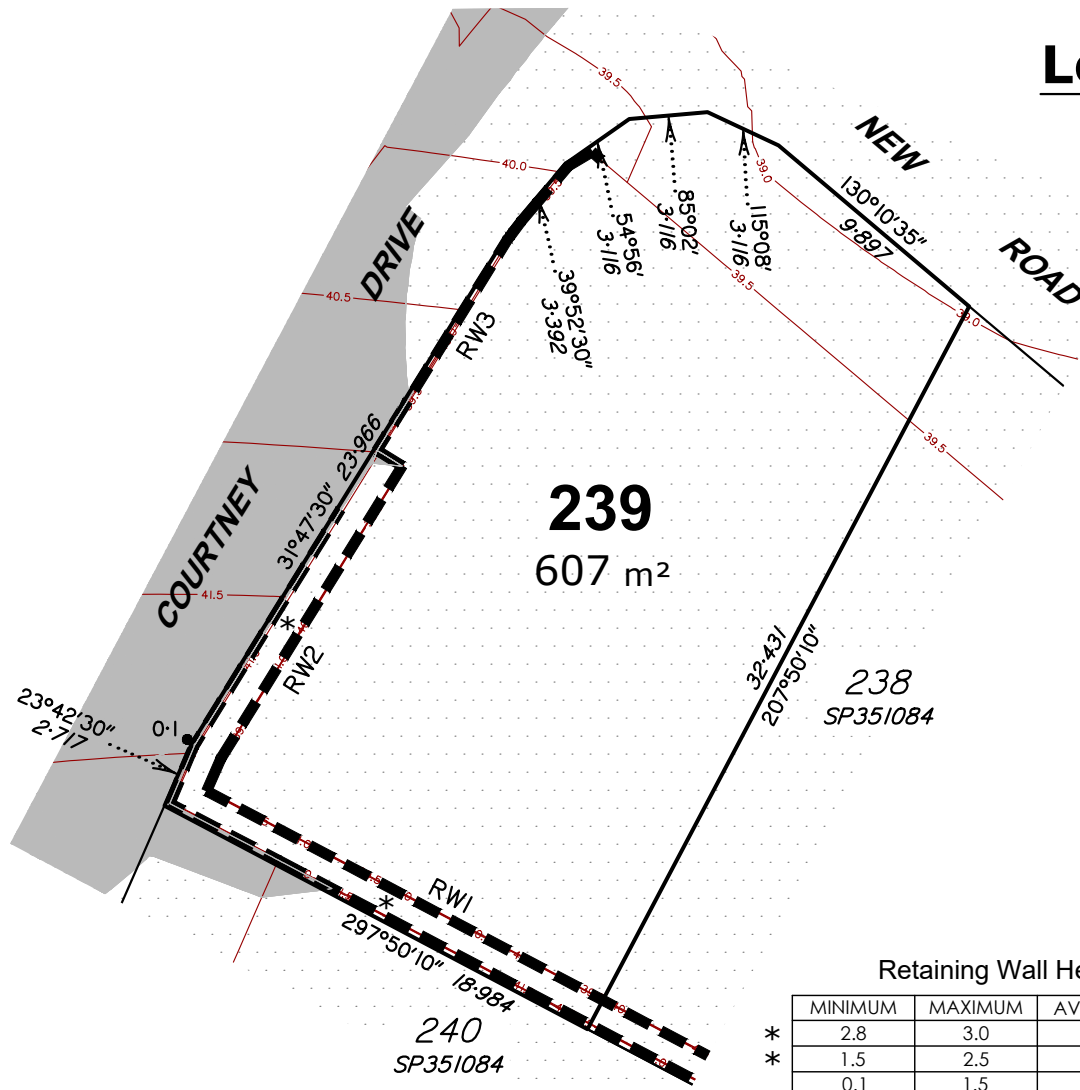
Title: **Disclosure Plan for Lot 238**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: SDS
Surveyed By:	JS	Approved: SWM
Date Created:	12/9/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_039_DIS	

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 239



### Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	2.8	3.0	2.9	RW1
*	1.5	2.5	2.0	RW2
*	0.1	1.5	0.8	RW3

## LEGEND

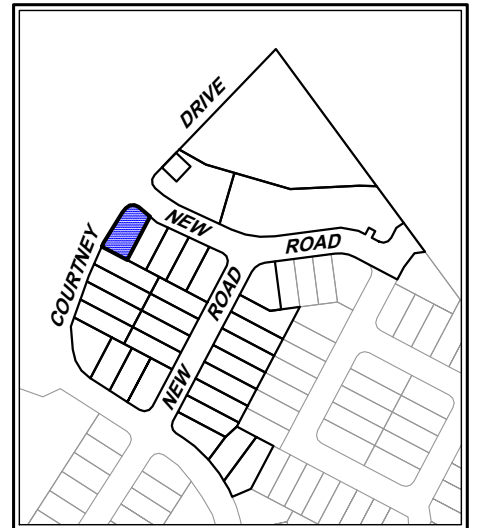
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 239 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

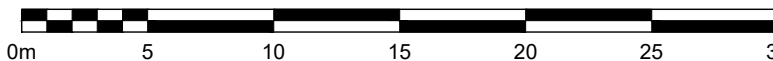
### LOCALITY

SCALE 1:5000



Scale 1:300

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## Title: Disclosure Plan for Lot 239 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA  
PTY LTD**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **SDS**

Surveyed By: **JS** Approved: **SWM**

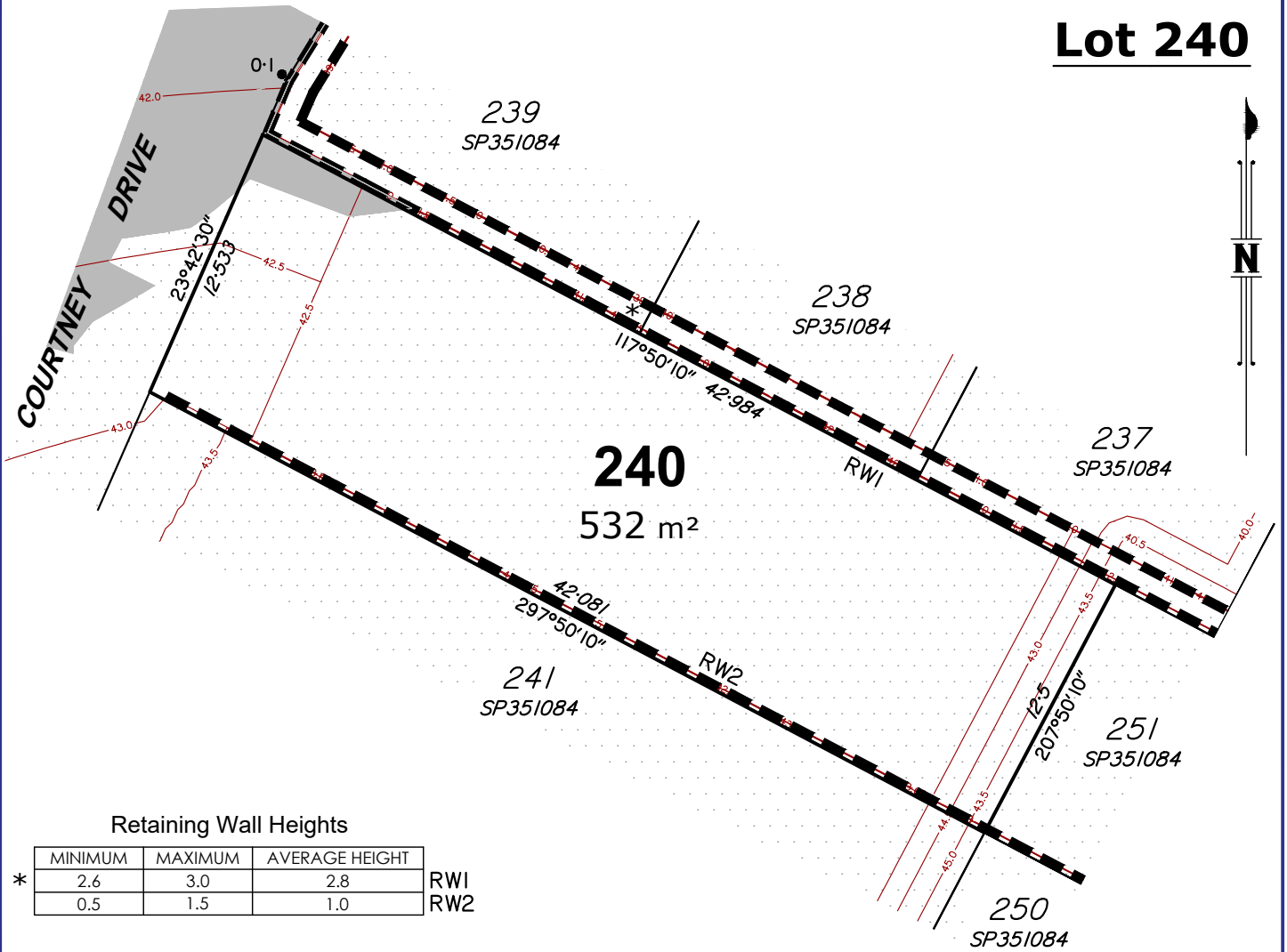
Date Created: **12/9/2024** Scale: **1:300**

Comp File: **171101.project**

Plan No: **171101\_039\_DIS**



# Lot 240



### Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	2.6	3.0	2.8	RW1
	0.5	1.5	1.0	RW2

### LEGEND

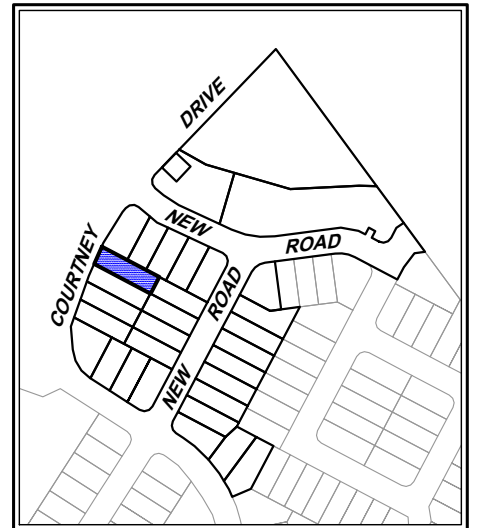
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 240 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

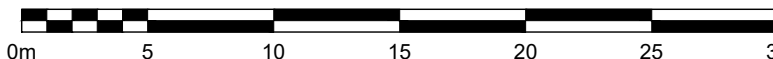
### LOCALITY

SCALE 1:5000



Scale 1:300

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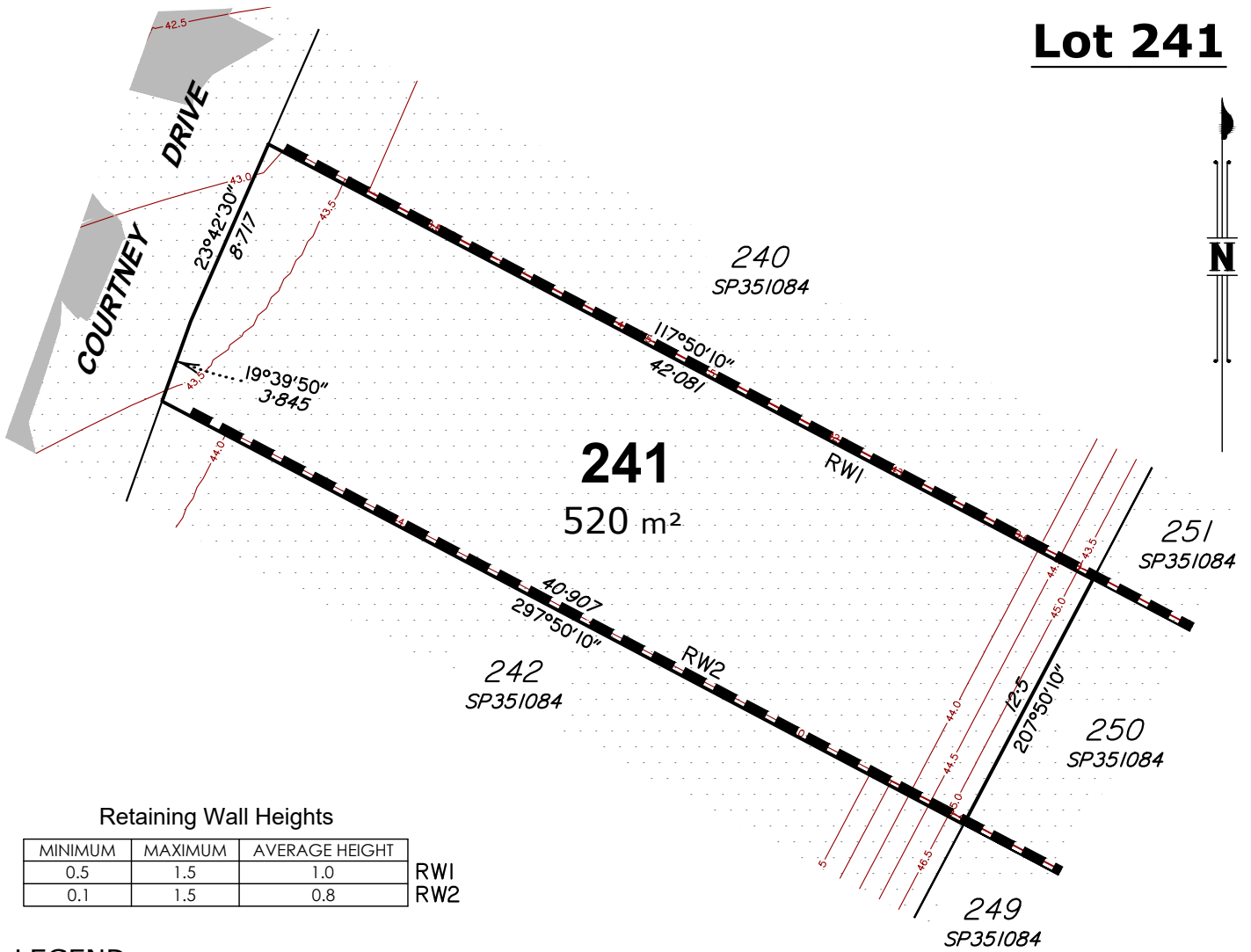
Title: **Disclosure Plan for Lot 240**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 241



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.5	1.5	1.0	RW1
0.1	1.5	0.8	RW2

### LEGEND

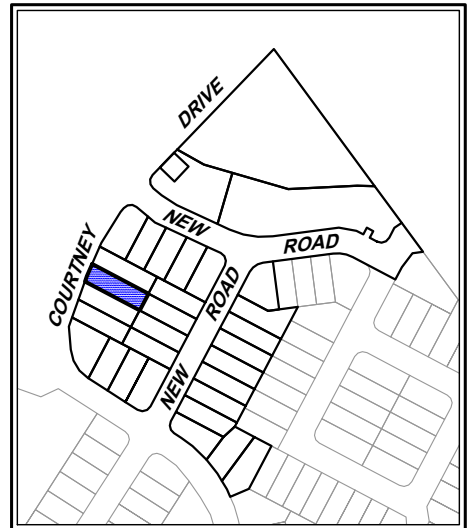
- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 241 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

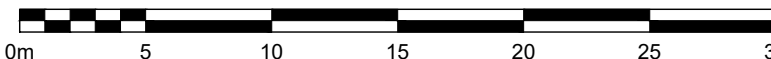
### LOCALITY

SCALE 1:5000



Scale 1:300

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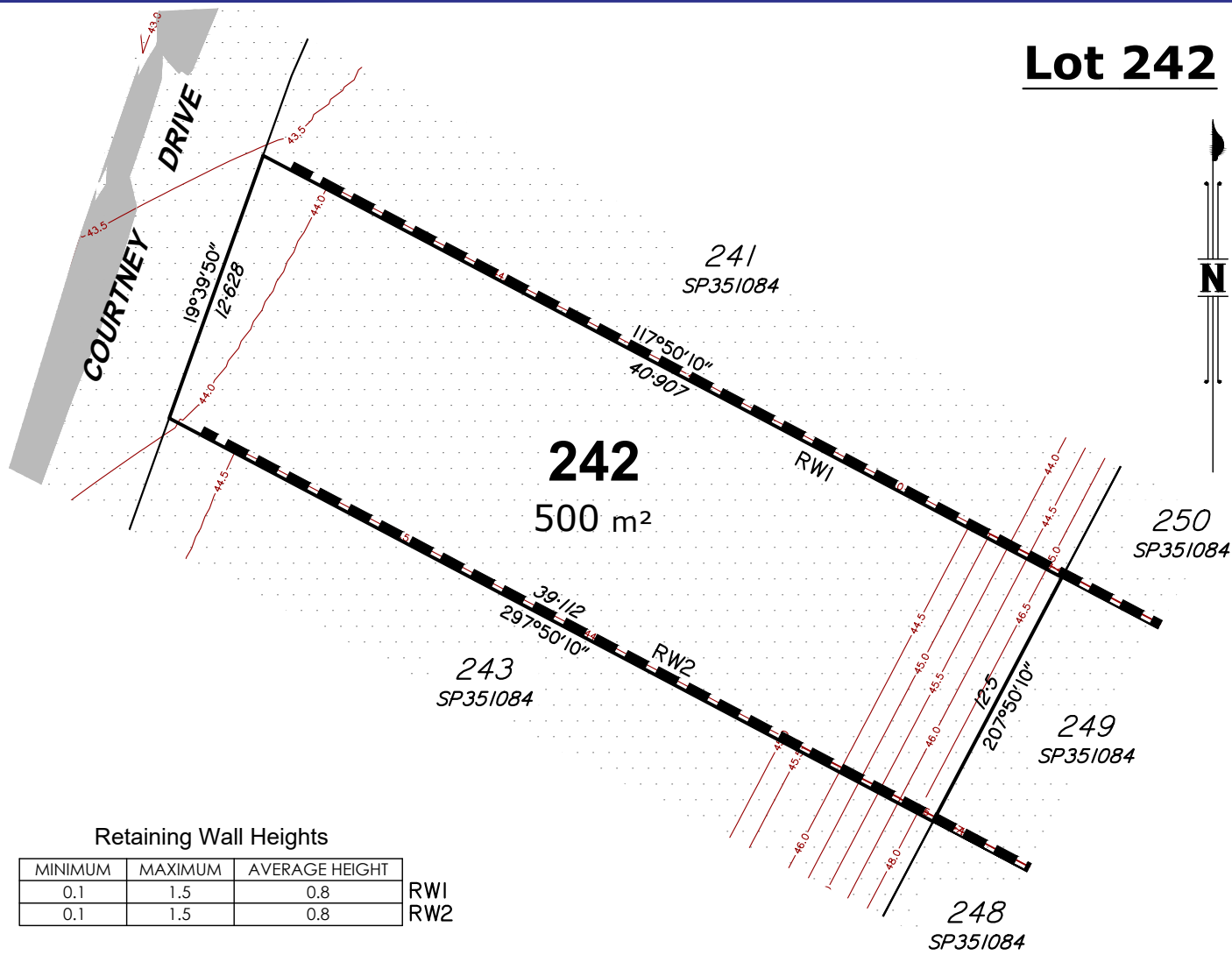
## Title: Disclosure Plan for Lot 241 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 242



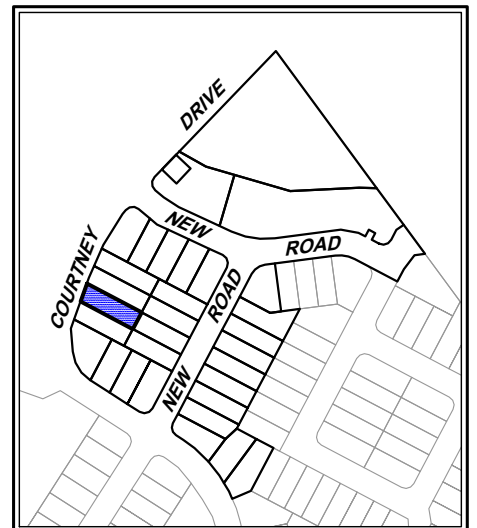
### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### LOCALITY SCALE 1:5000

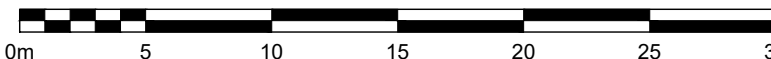


Scale 1:300

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 242 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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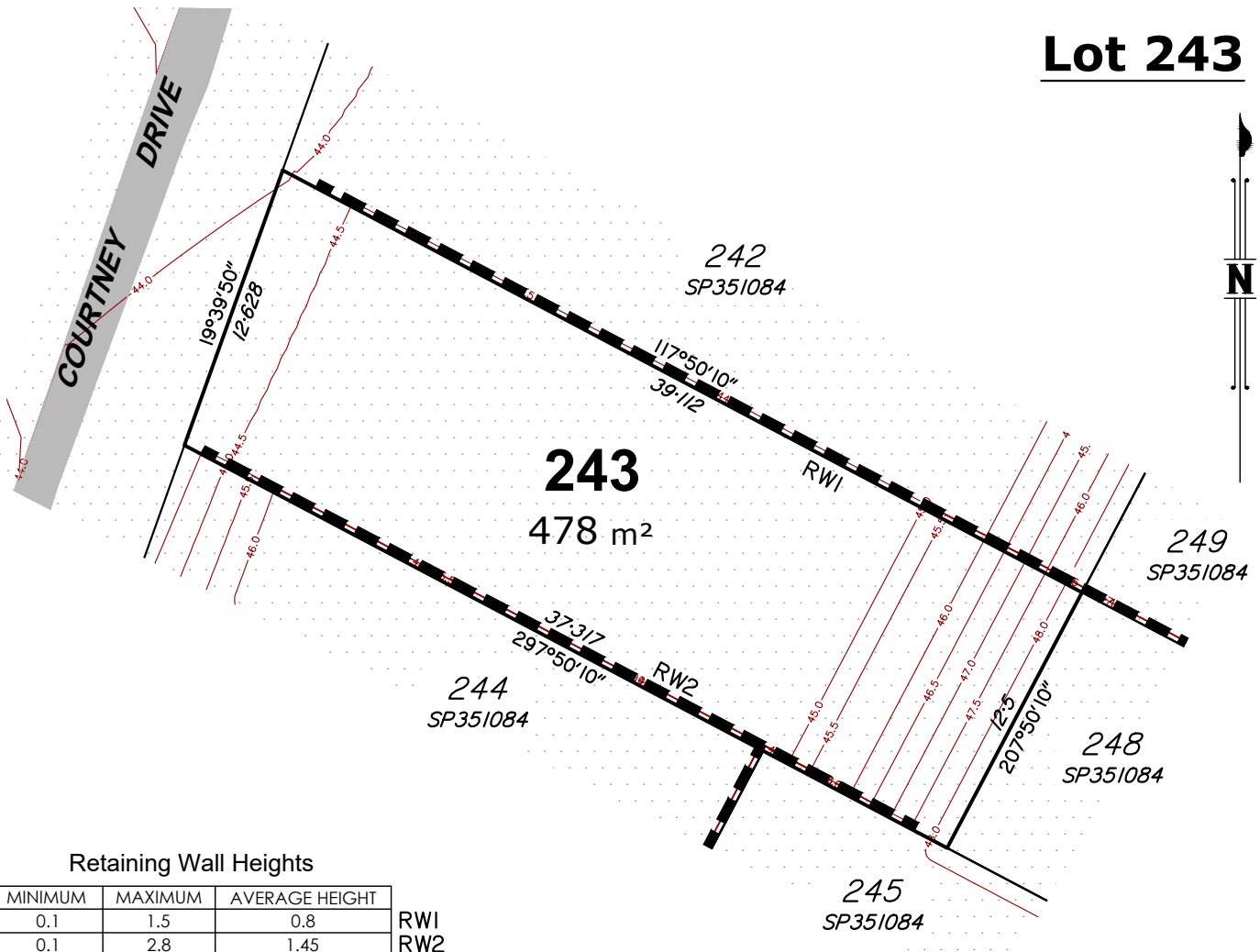
### Title: Disclosure Plan for Lot 242 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA  
PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 243



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	2.8	1.45	RW2

### LEGEND

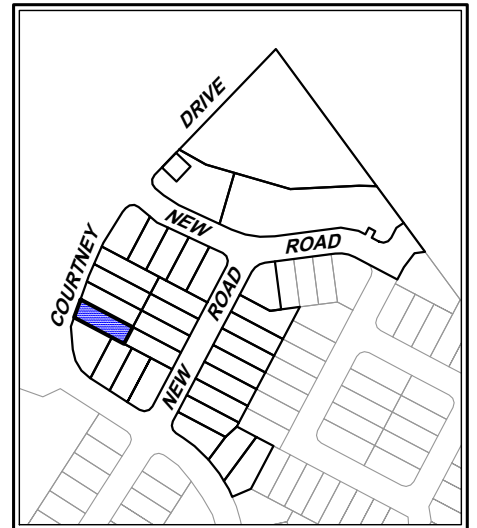
- Approximate Cut Area
- Approximate Fill Area
- Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 243 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

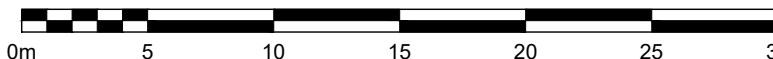
### LOCALITY

SCALE 1:5000



Scale 1:300

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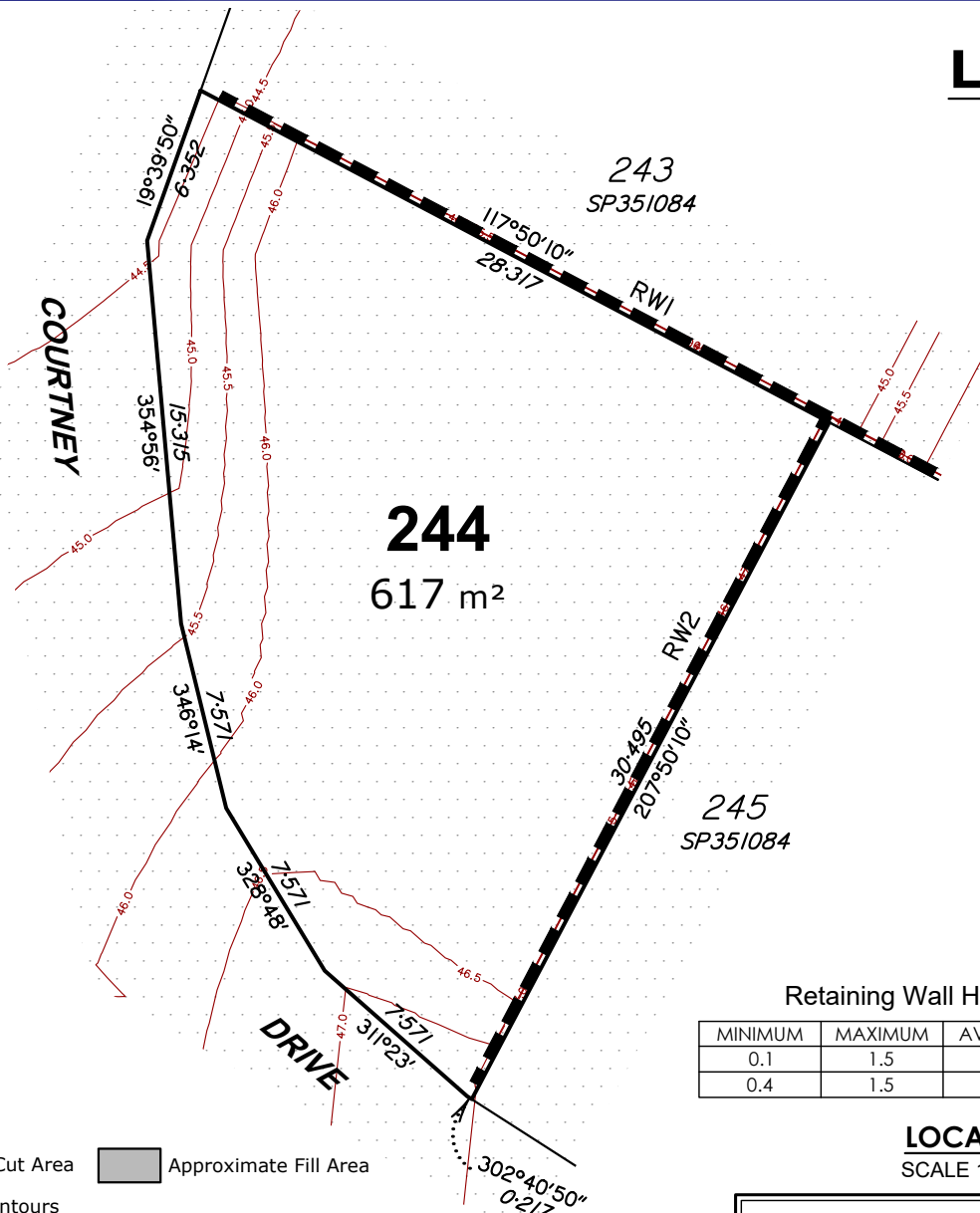
## Title: Disclosure Plan for Lot 243 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA  
PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 244



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.4	1.5	0.95	RW2

### LEGEND

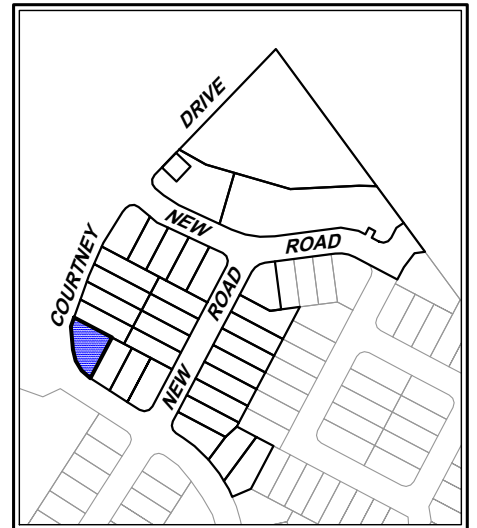
- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 244 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

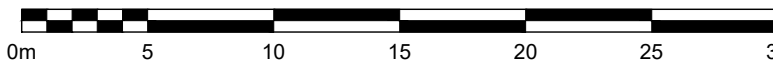
### LOCALITY

SCALE 1:5000



Scale 1:300

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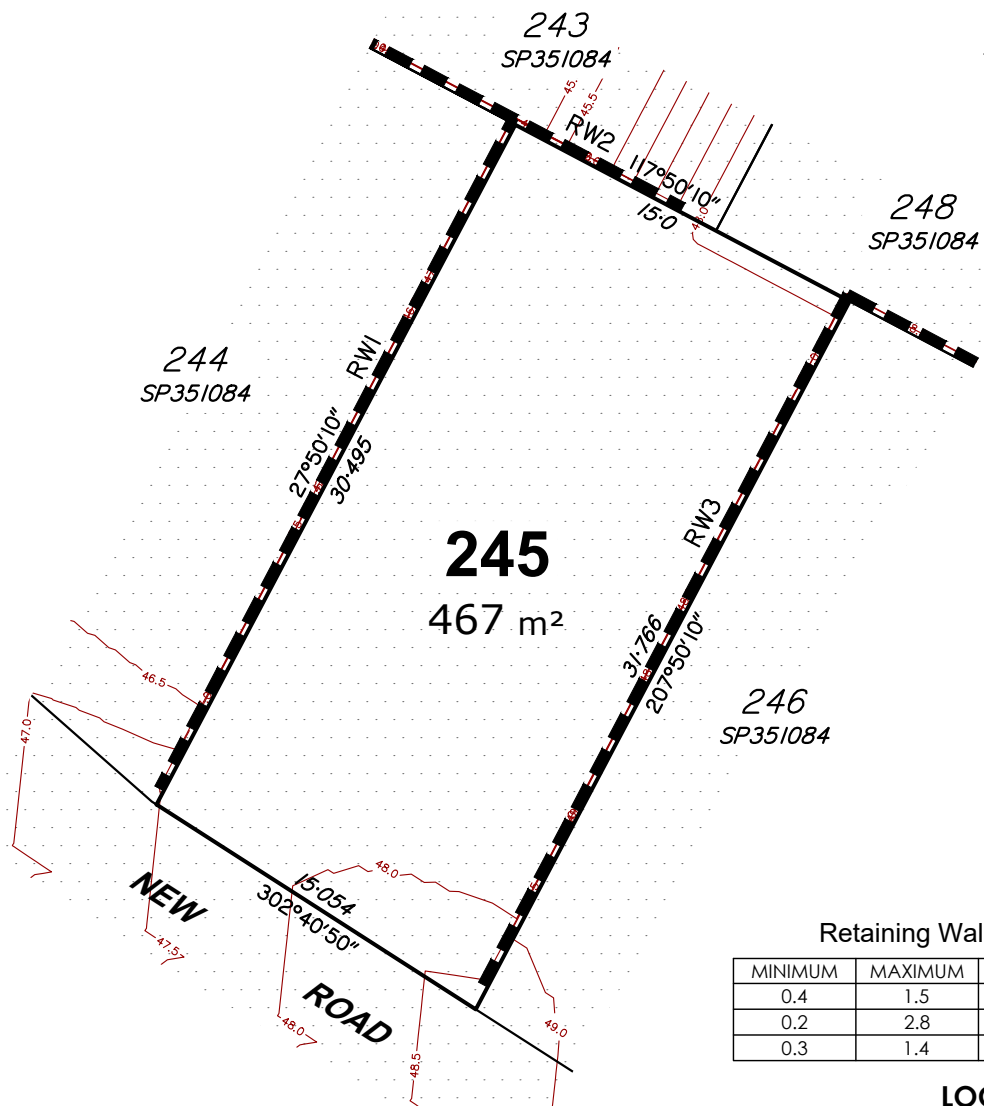
## Title: Disclosure Plan for Lot 244 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA  
PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 245



Retaining Wall Heights

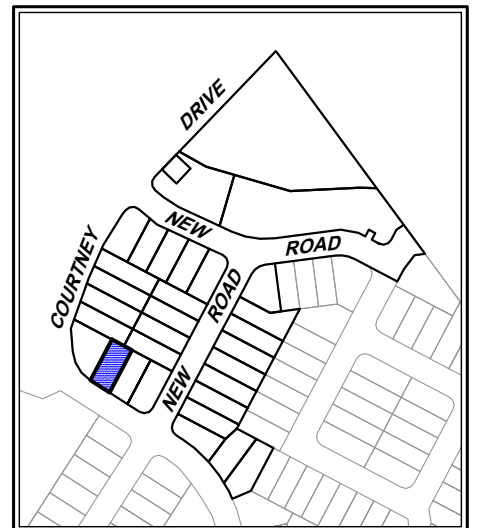
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.4	1.5	0.95	RW1
0.2	2.8	1.5	RW2
0.3	1.4	0.85	RW3

## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

## LOCALITY

SCALE 1:5000

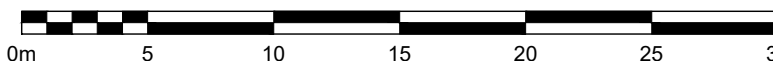


Scale 1:300

## Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 245 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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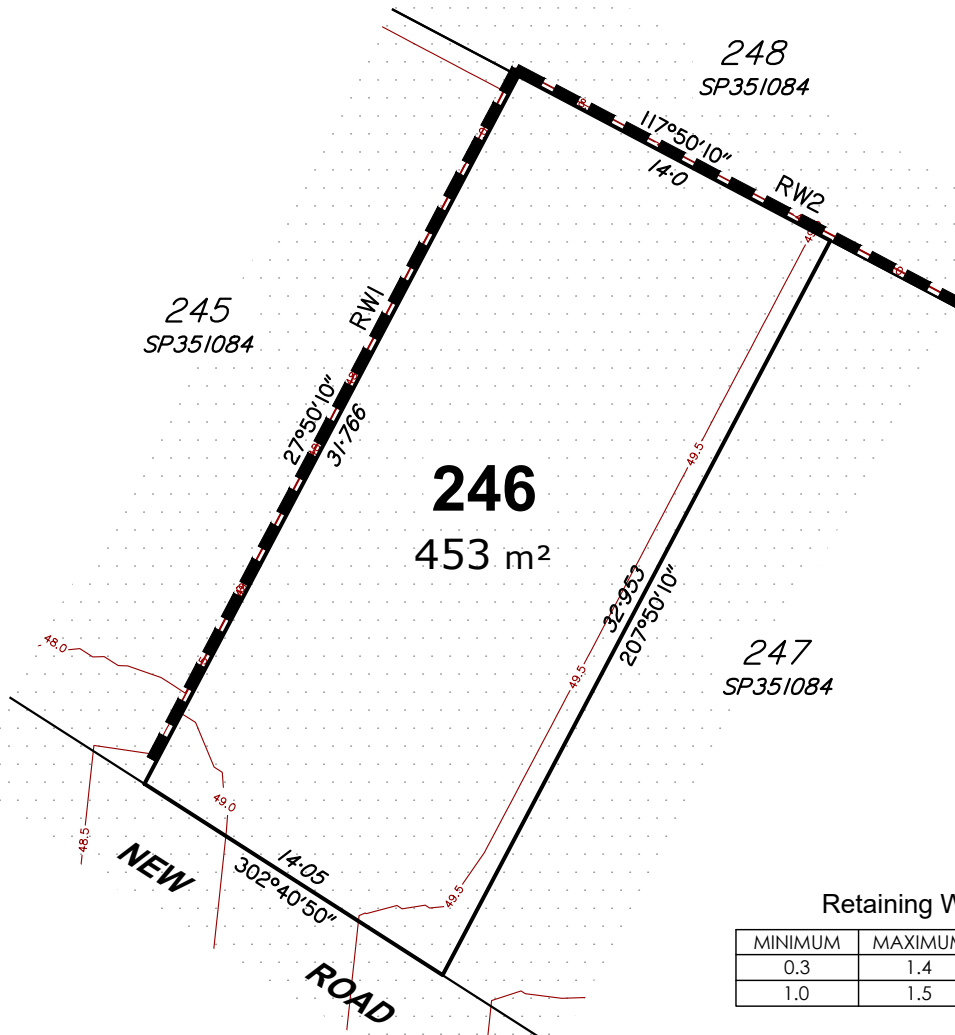
Title: **Disclosure Plan for Lot 245**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 246



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.3	1.4	0.85	RW1
1.0	1.5	1.25	RW2

### LEGEND

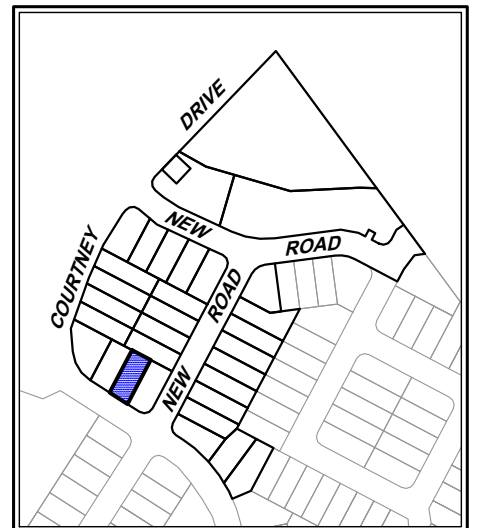
- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 246 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

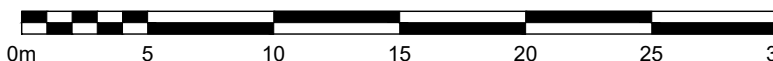
### LOCALITY

SCALE 1:5000



Scale 1:300

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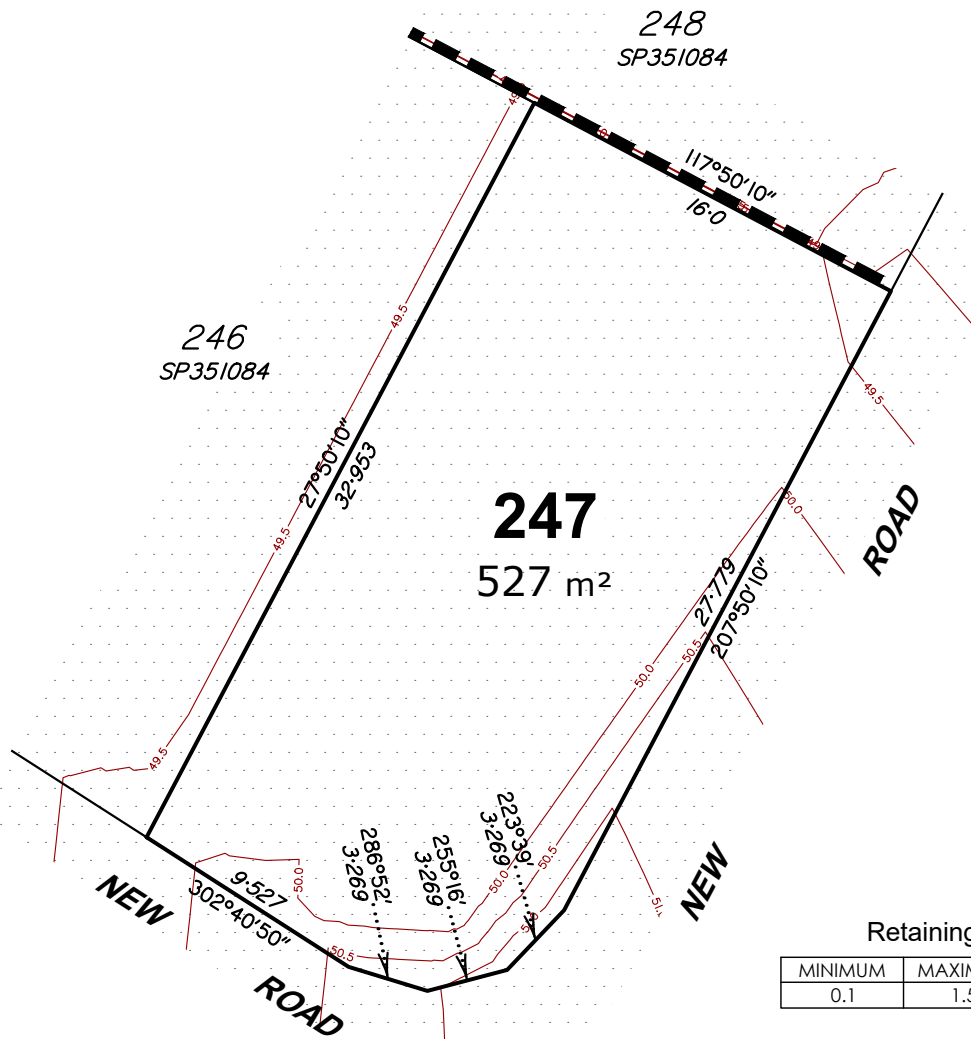
## Title: Disclosure Plan for Lot 246 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

# Lot 247



### Retaining Wall Heights

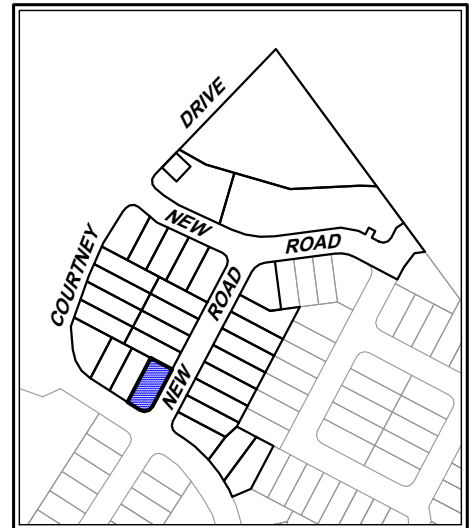
MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8

## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

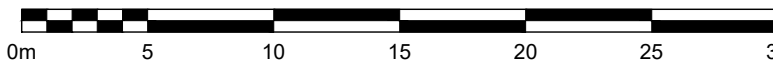
## LOCALITY

SCALE 1:5000



Scale 1:300

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## Title: Disclosure Plan for Lot 247 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

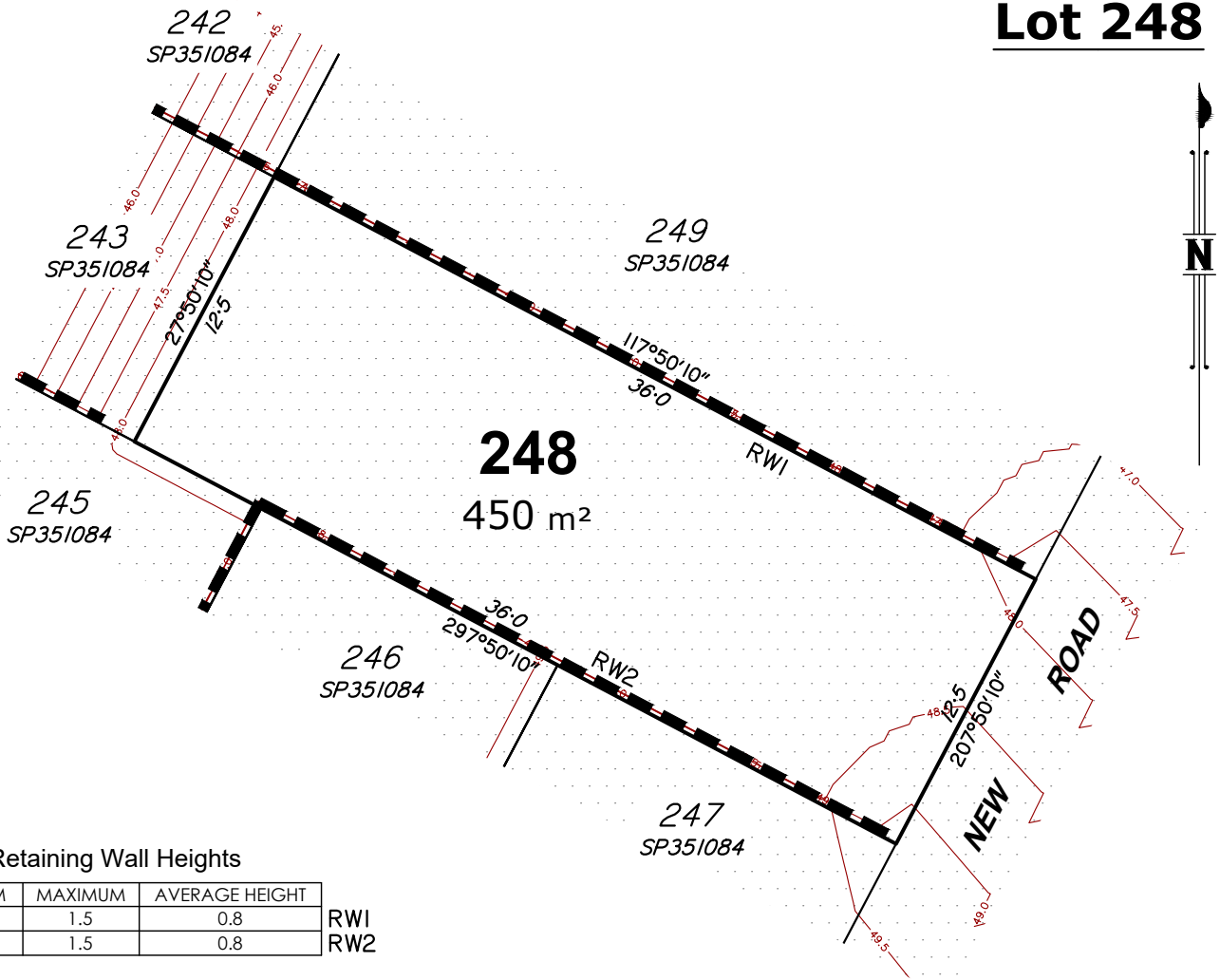
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	<b>171101_039_DIS</b>



# Lot 248



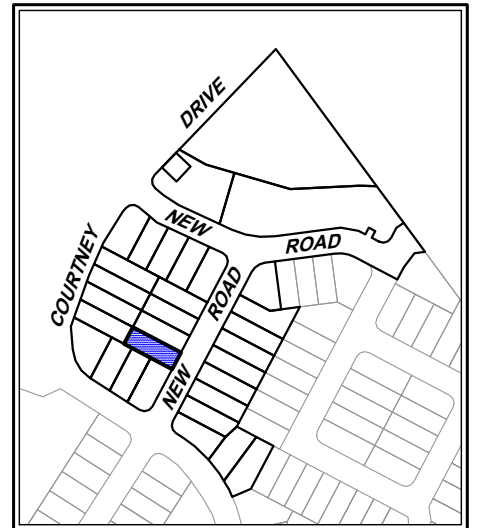
### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### LOCALITY SCALE 1:5000

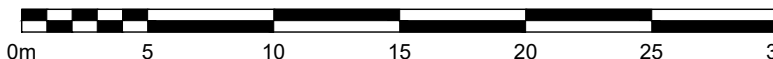


Scale 1:300

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 248 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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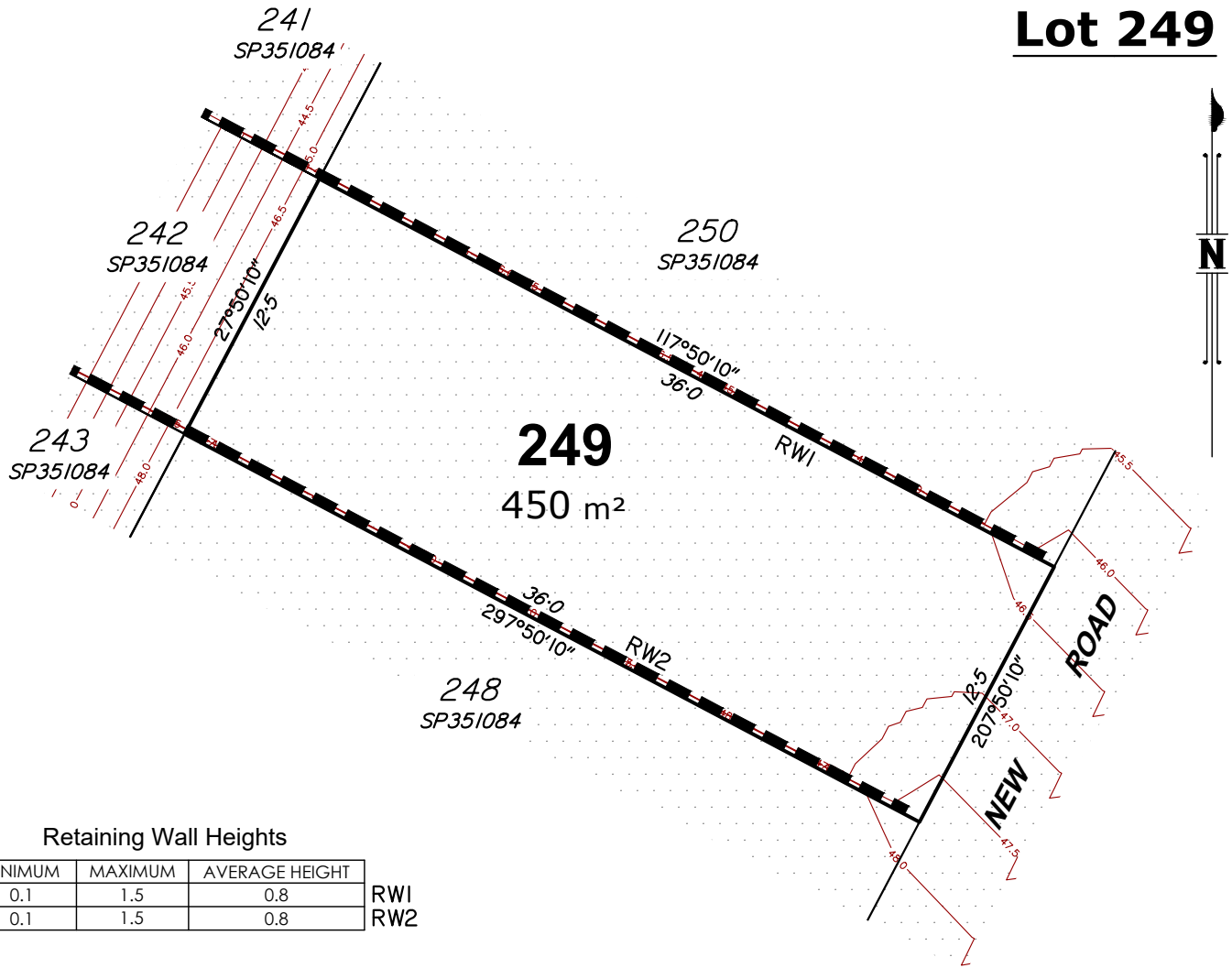
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### Title: Disclosure Plan for Lot 248 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

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Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

# Lot 249



### Retaining Wall Heights

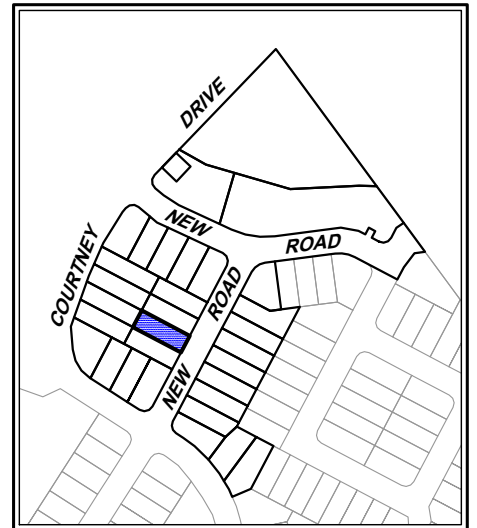
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

### LOCALITY

SCALE 1:5000

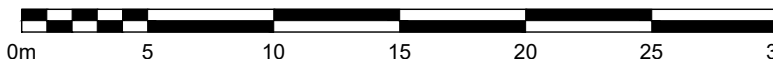


Scale 1:300

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 249 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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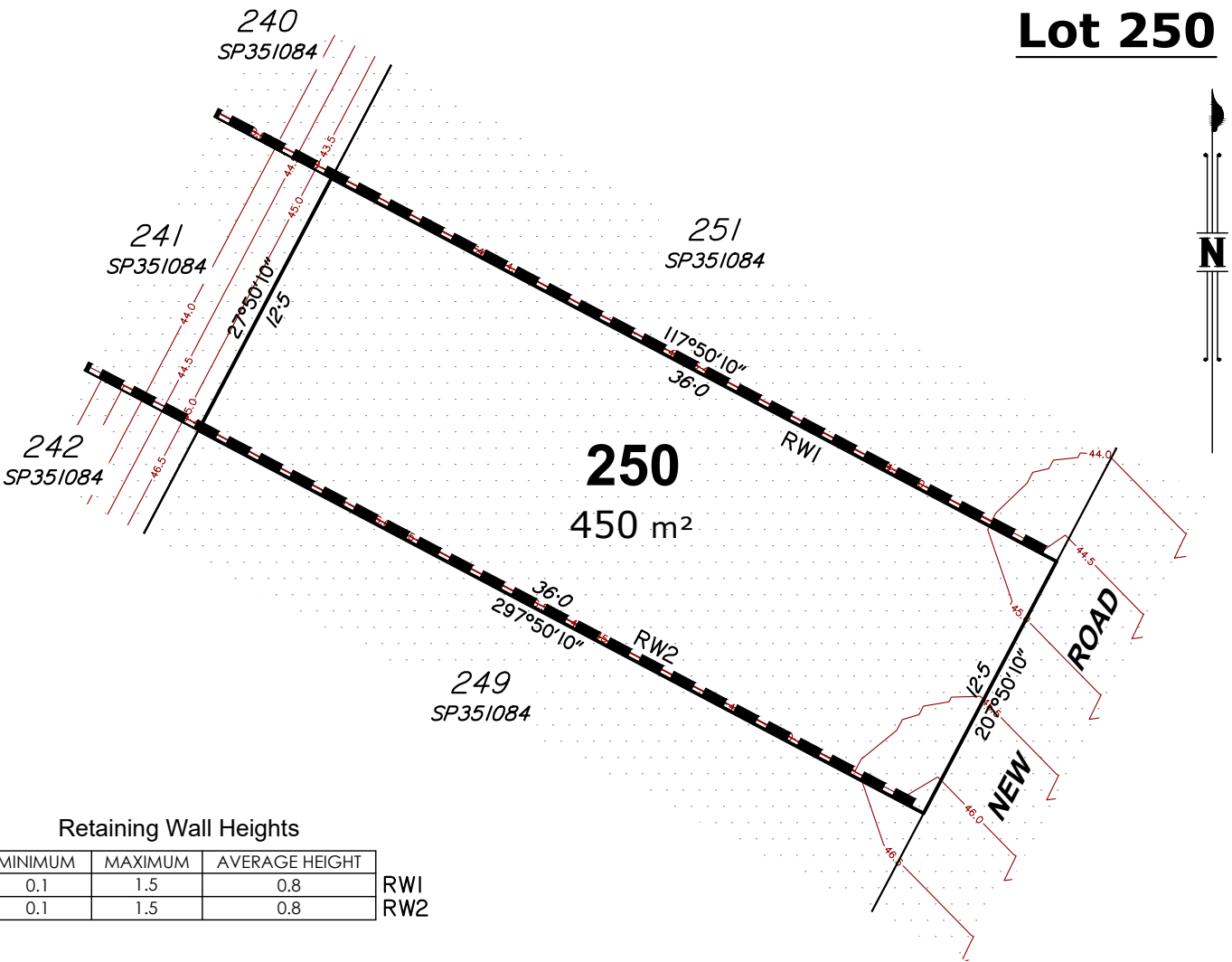
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## Title: Disclosure Plan for Lot 249 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

# Lot 250



### Retaining Wall Heights

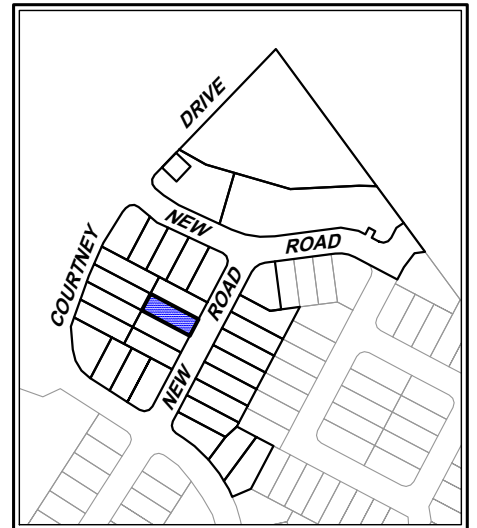
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### LOCALITY

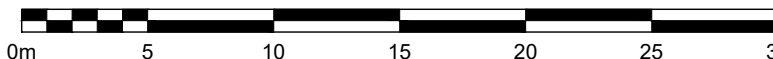
SCALE 1:5000



- Notes:
1. Drawn to Scale on A4 sheet.
  2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
  3. Contour Interval 0.5m
  4. All dimensions and areas are subject to final survey and approval by GCCC.
  5. This plan has been prepared for disclosure under the Land Sales Act 1984.
  6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
  7. This plan shows details of Proposed Allotment 250 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
  8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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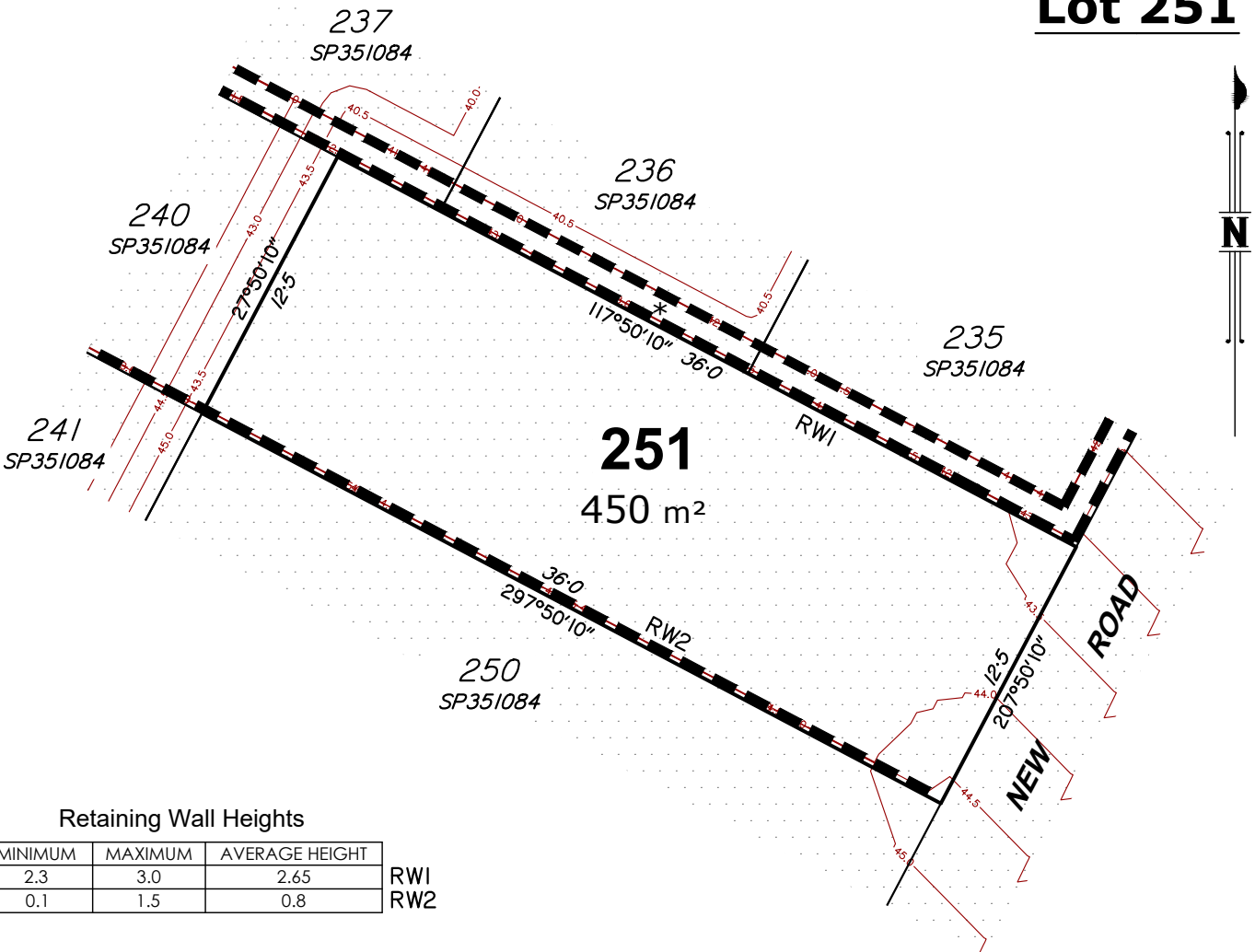
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### Title: Disclosure Plan for Lot 250 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

# Lot 251



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
2.3	3.0	2.65	RW1
0.1	1.5	0.8	RW2

### LEGEND

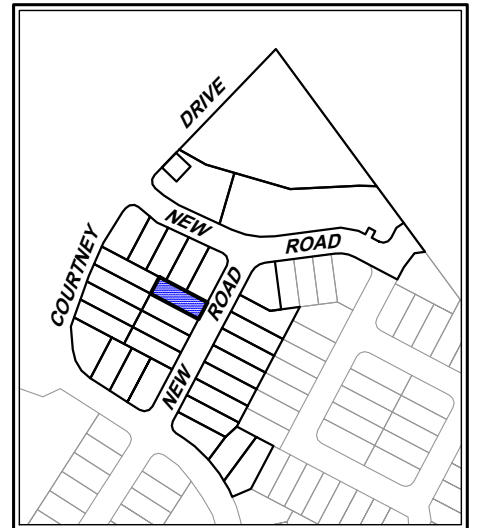
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 251 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

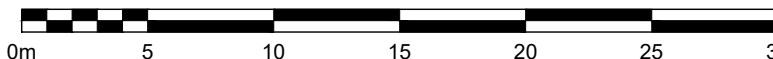
### LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 251 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

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