
 Approximate Cut Area     Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

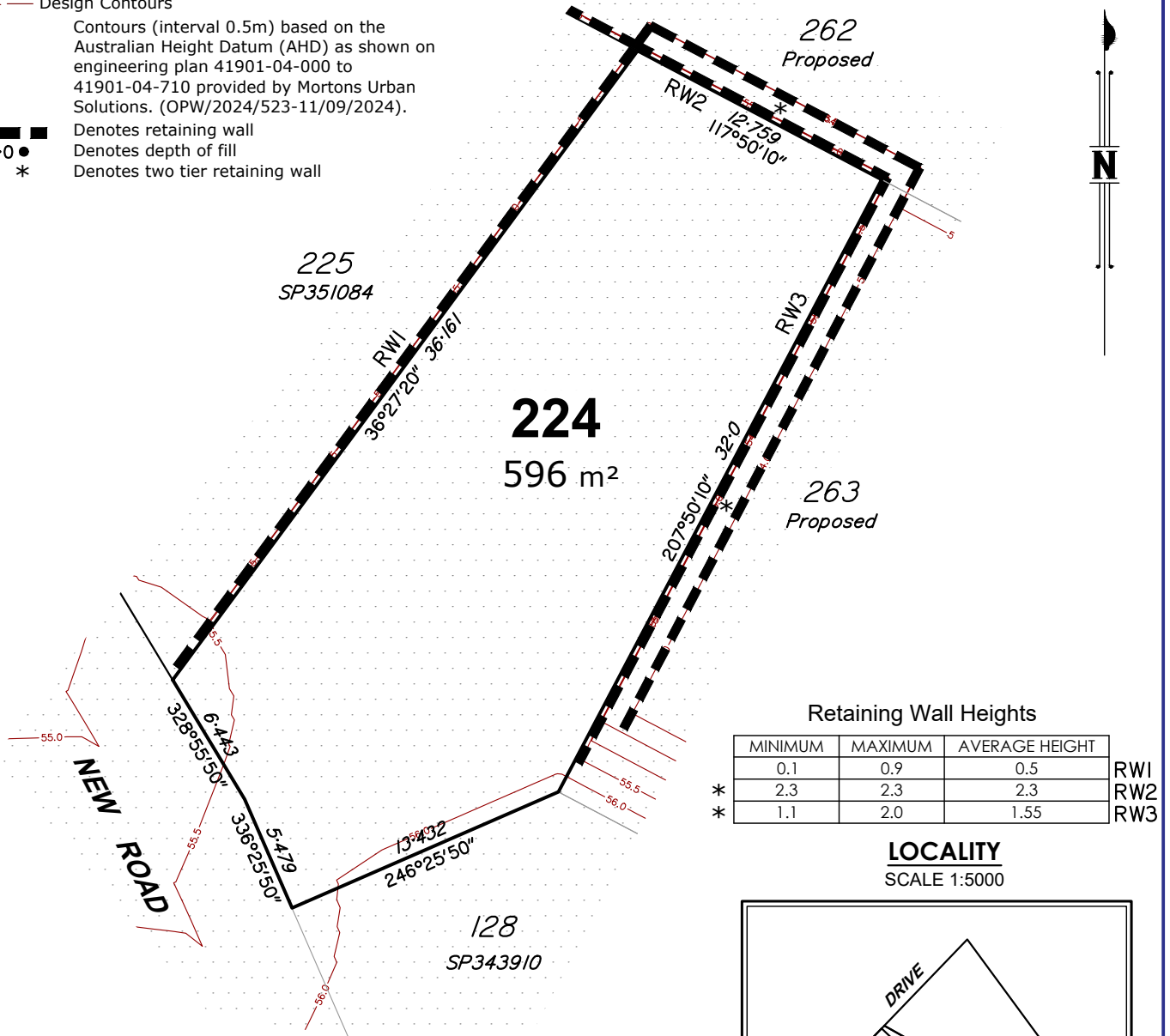
 Denotes retaining wall

1:0 ●

Denotes depth of fill

\*

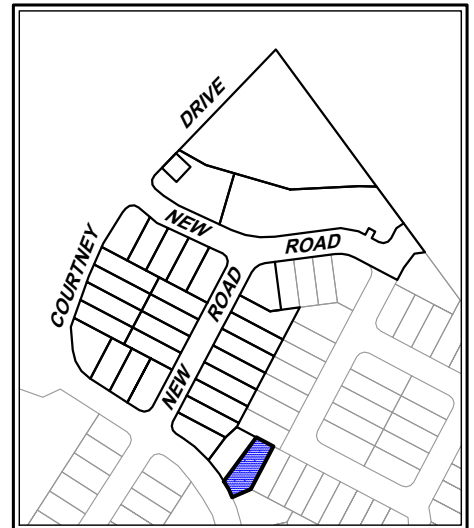
Denotes two tier retaining wall



Retaining Wall Heights

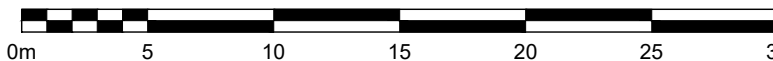
	MINIMUM	MAXIMUM	AVERAGE HEIGHT
RW1	0.1	0.9	0.5
RW2	2.3	2.3	2.3
RW3	1.1	2.0	1.55

LOCALITY  
SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 224 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



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Title: **Disclosure Plan for Lot 224**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

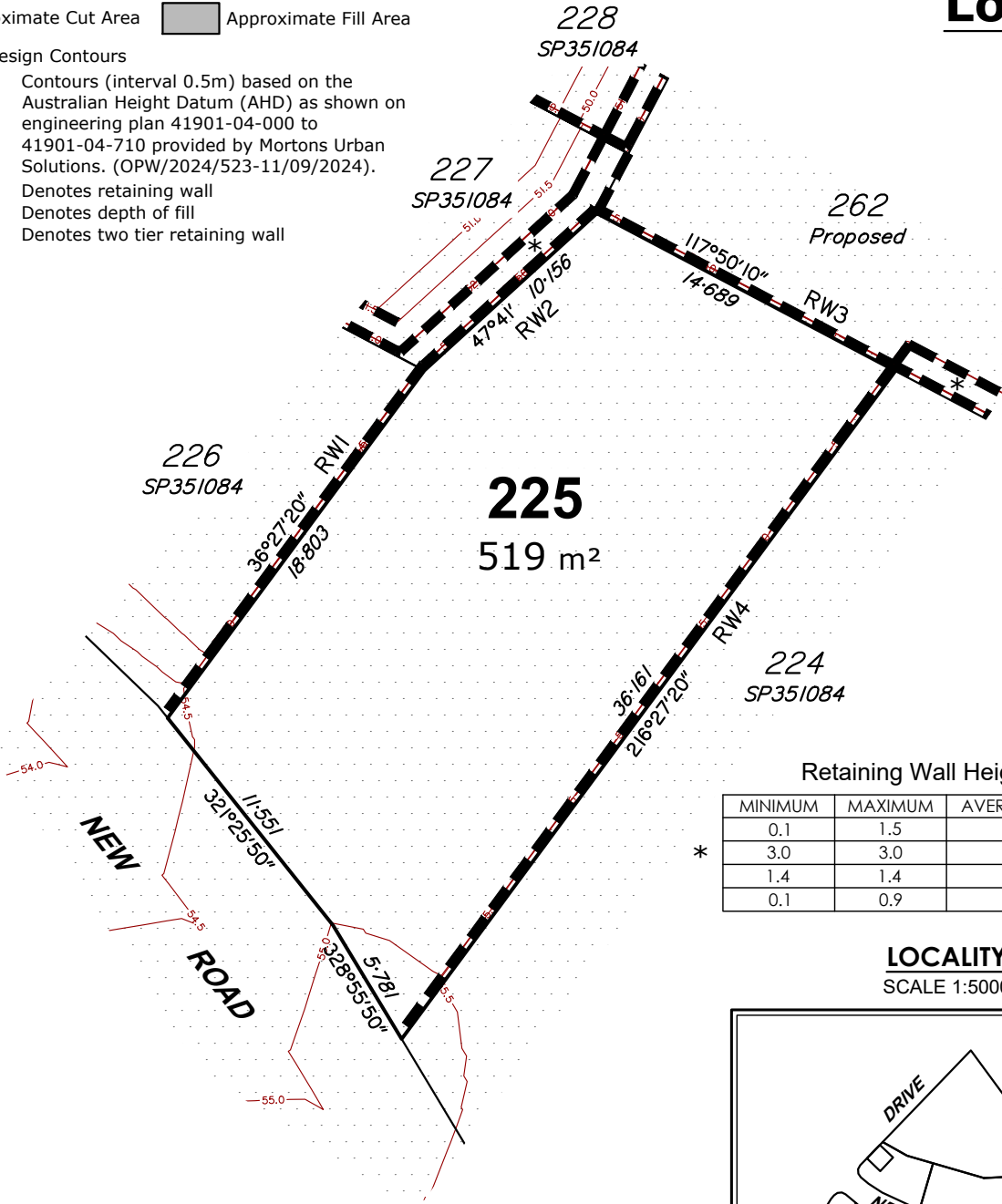
 Approximate Cut Area  Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).



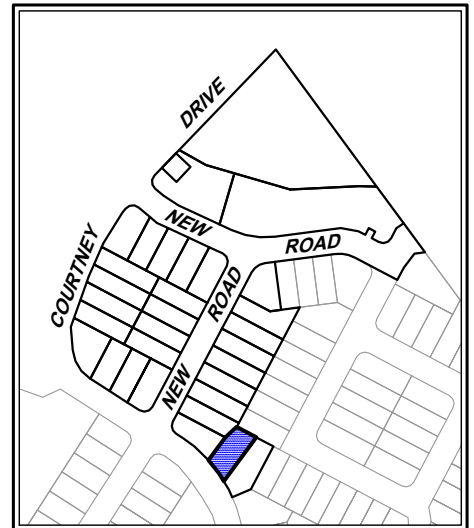
Denotes retaining wall  
 Denotes depth of fill  
 \* Denotes two tier retaining wall



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
3.0	3.0	3.0	RW2
1.4	1.4	1.4	RW3
0.1	0.9	0.5	RW4

LOCALITY  
SCALE 1:5000

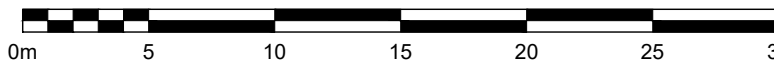


Scale 1:300

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 225 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Revision A - Original Plan Issue 18/10/2024 (SCO)



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Title: **Disclosure Plan for Lot 225 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

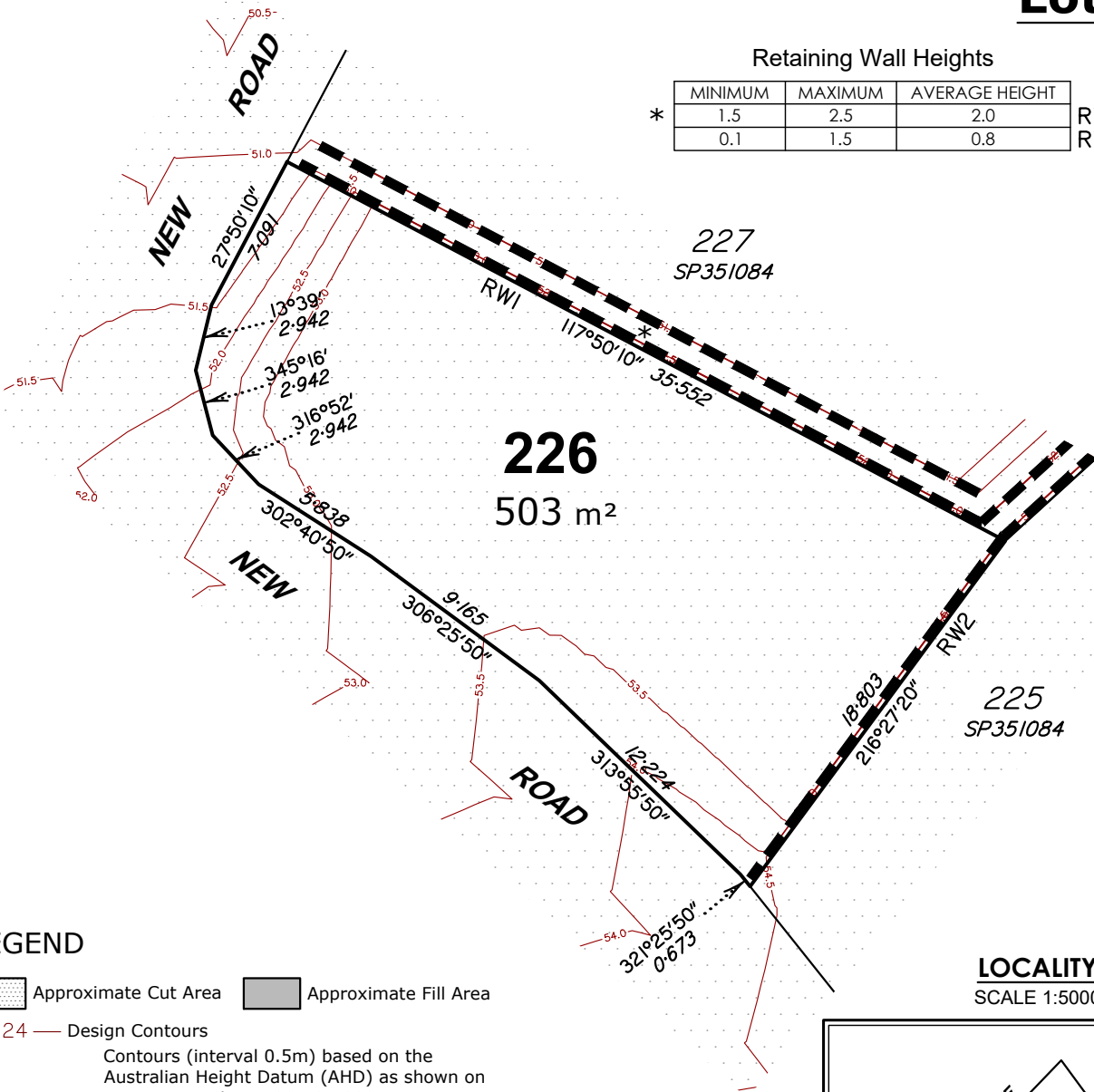
Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

# Lot 226

## Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	1.5	2.5	2.0	RW1
	0.1	1.5	0.8	RW2

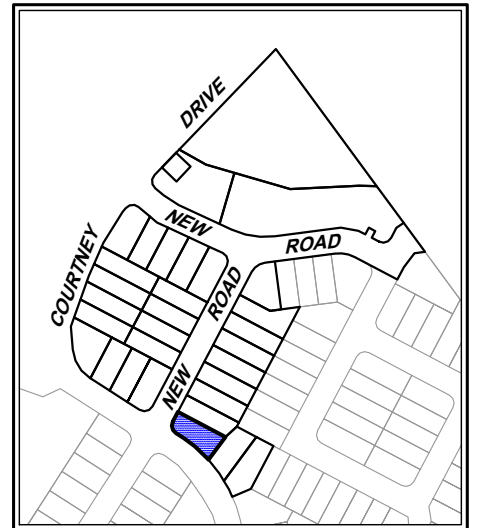


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1-0 Denotes depth of fill
- \* Denotes two tier retaining wall

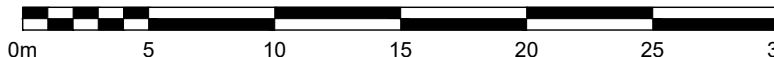
## LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 226**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

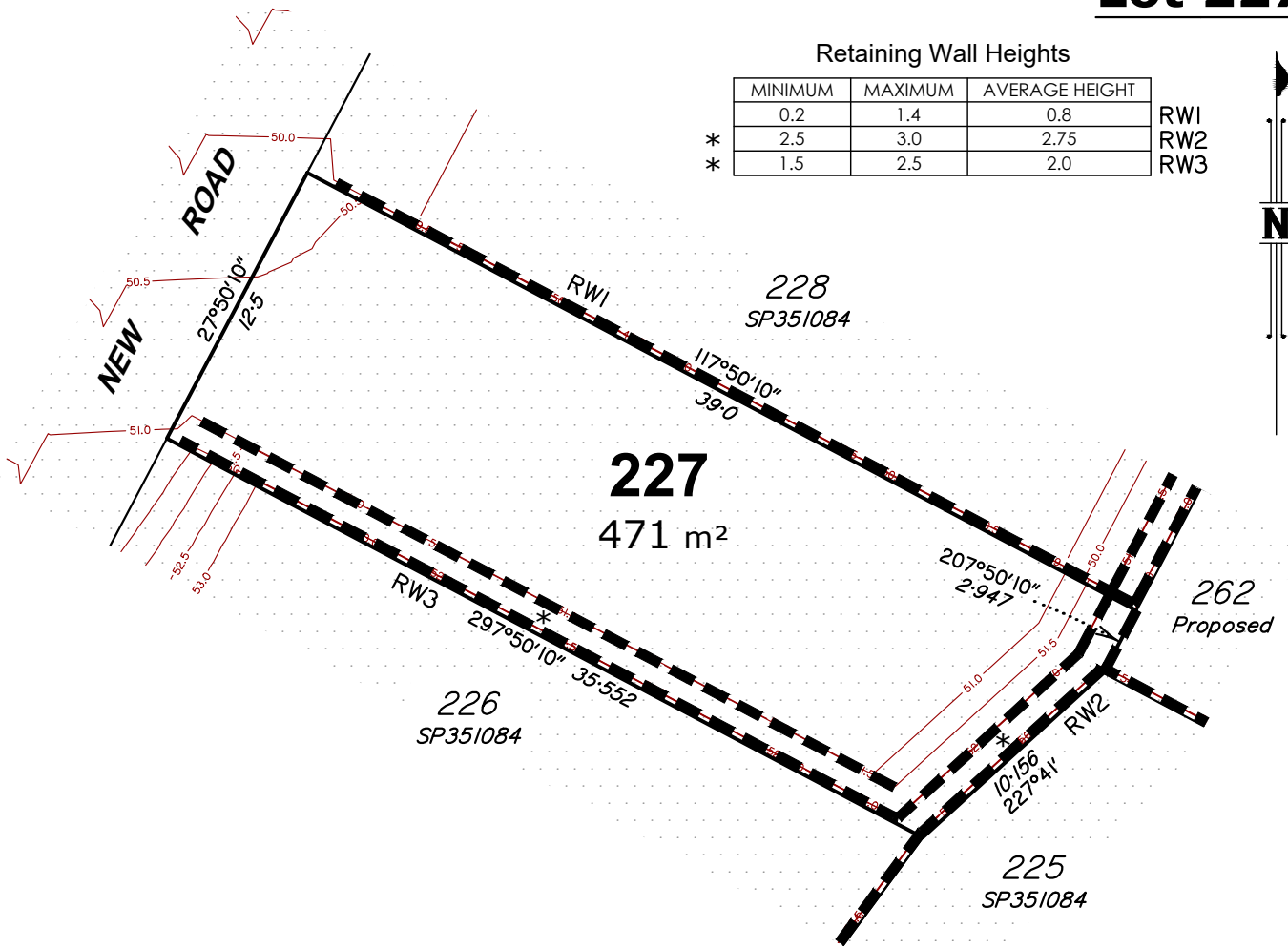
Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

# Lot 227

## Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	0.2	1.4	0.8	RW1
*	2.5	3.0	2.75	RW2
*	1.5	2.5	2.0	RW3

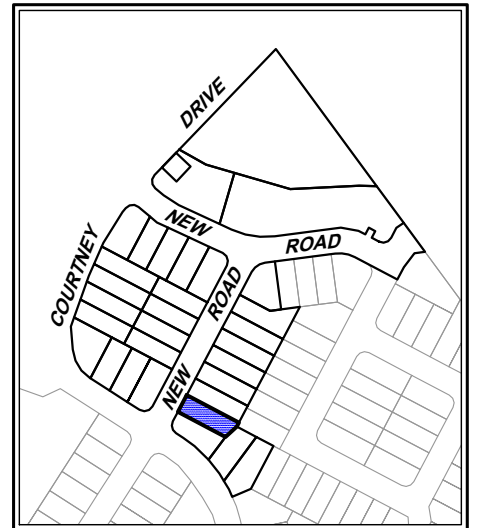


## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

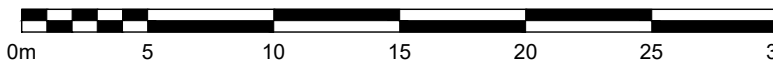
## LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 227**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

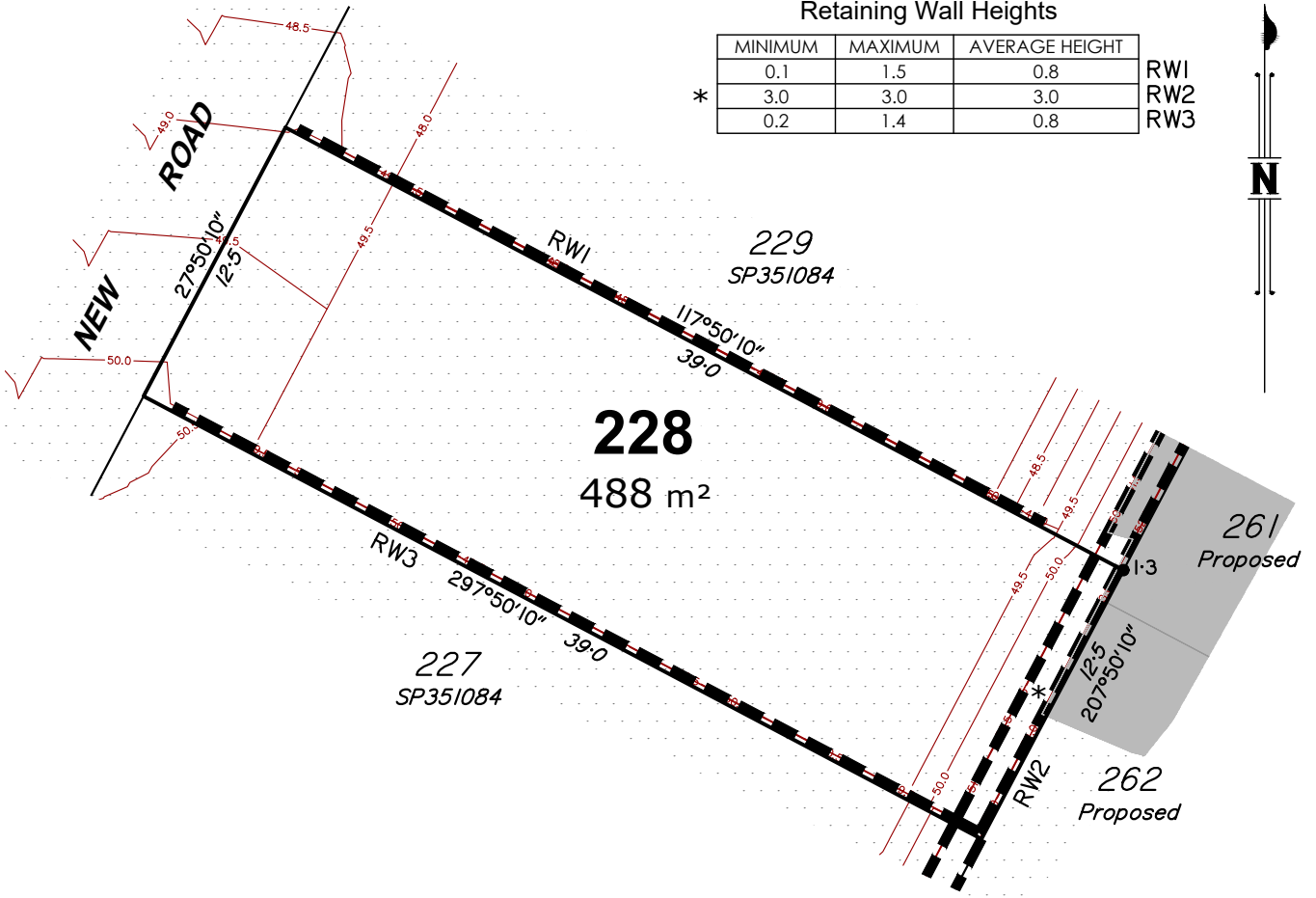
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

# Lot 228

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
* 3.0	3.0	3.0
0.2	1.4	0.8

RW1  
RW2  
RW3



## LEGEND

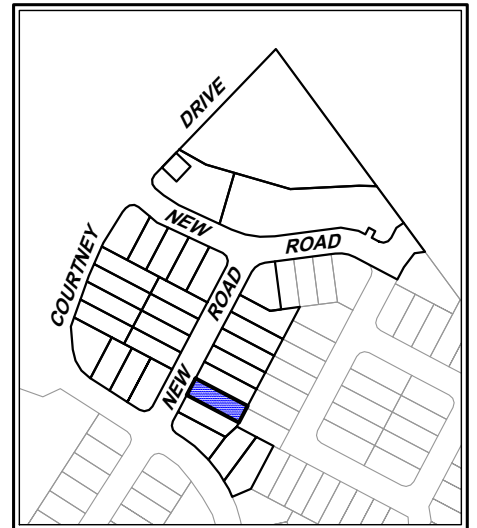
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 228 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

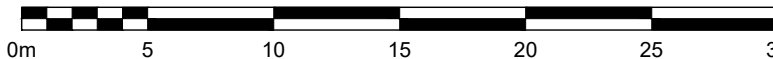
## LOCALITY

SCALE 1:5000



Scale 1:300

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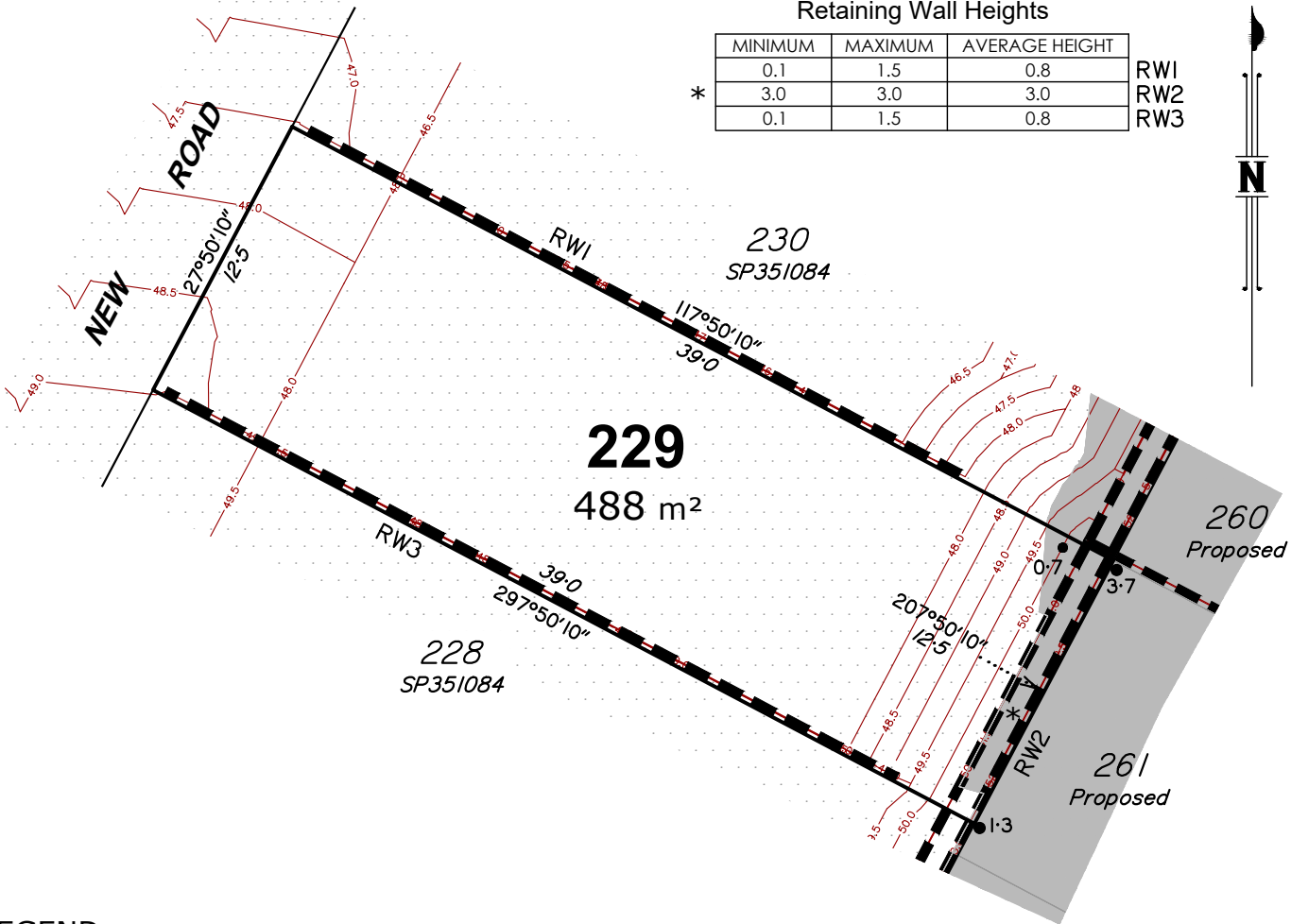
Title: **Disclosure Plan for Lot 228**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

# Lot 229



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
3.0	3.0	3.0
0.1	1.5	0.8

RW1  
RW2  
RW3



## LEGEND

Approximate Cut Area    Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

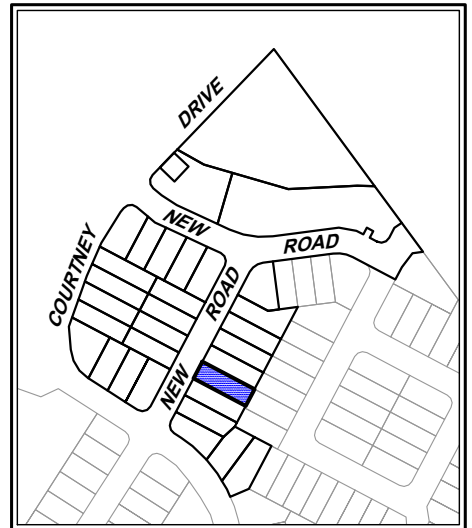
Denotes retaining wall  
 1:0 Denotes depth of fill  
 \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 229 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

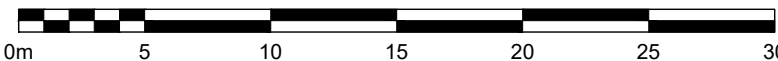
### LOCALITY

SCALE 1:5000



Scale 1:300

Revision A - Original Plan Issue 18/10/2024 (SCO)



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Title: **Disclosure Plan for Lot 229 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

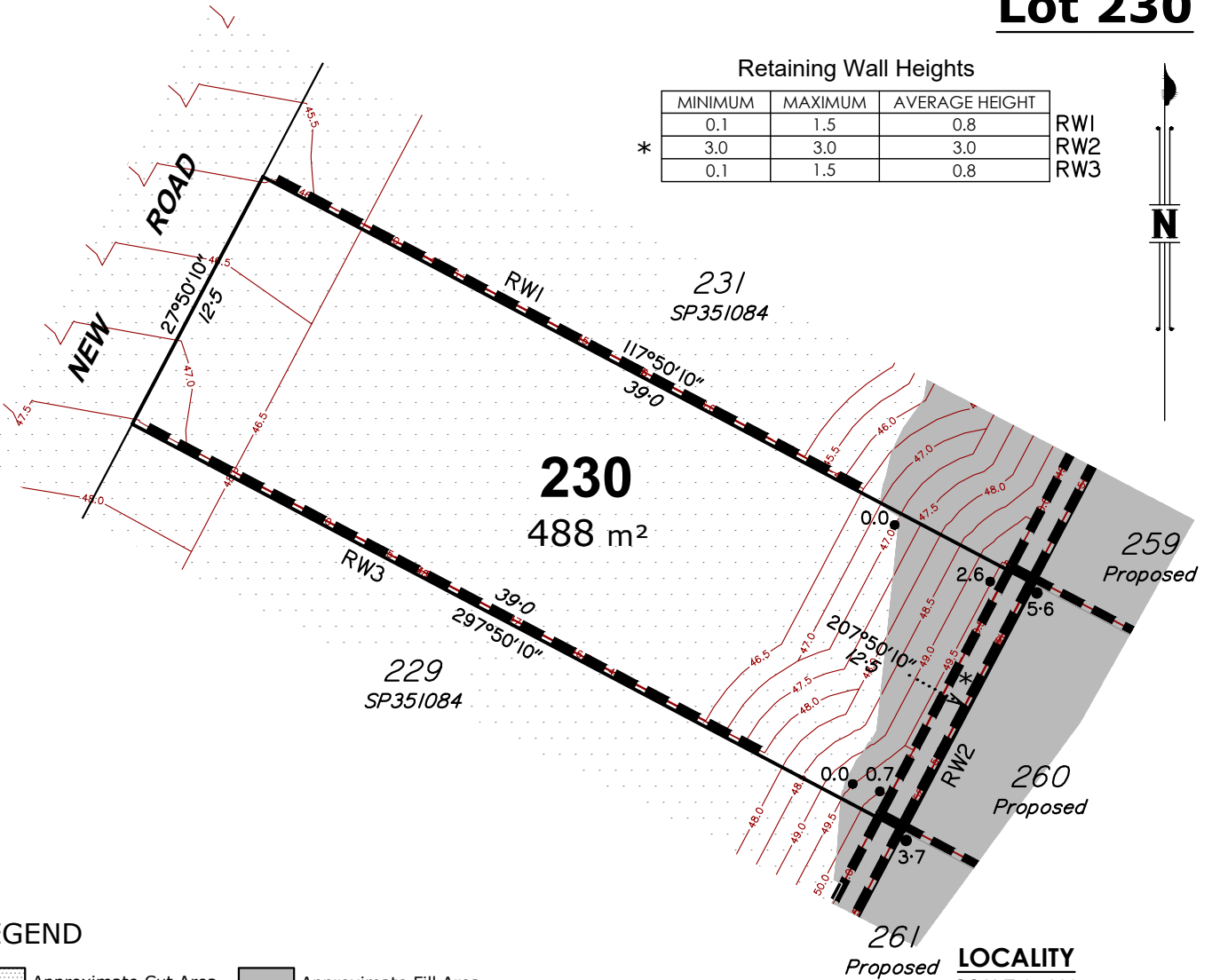
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

# Lot 230

## Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
3.0	3.0	3.0
0.1	1.5	0.8

RW1  
RW2  
RW3



## LEGEND

Approximate Cut Area    Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).

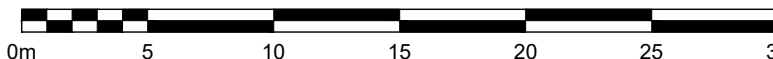
Denotes retaining wall  
 1.0 ● Denotes depth of fill  
 \* Denotes two tier retaining wall

### Notes:

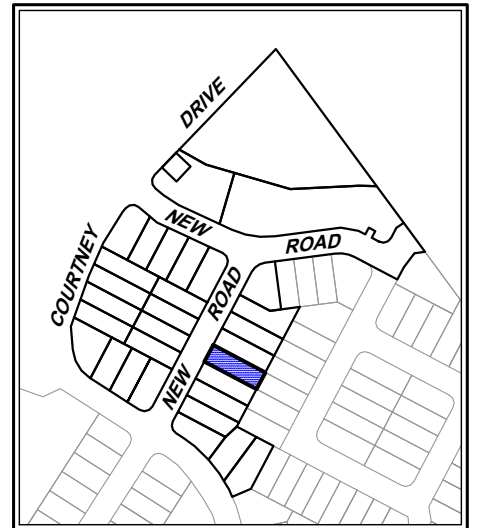
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 230 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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**LOCALITY**  
SCALE 1:5000



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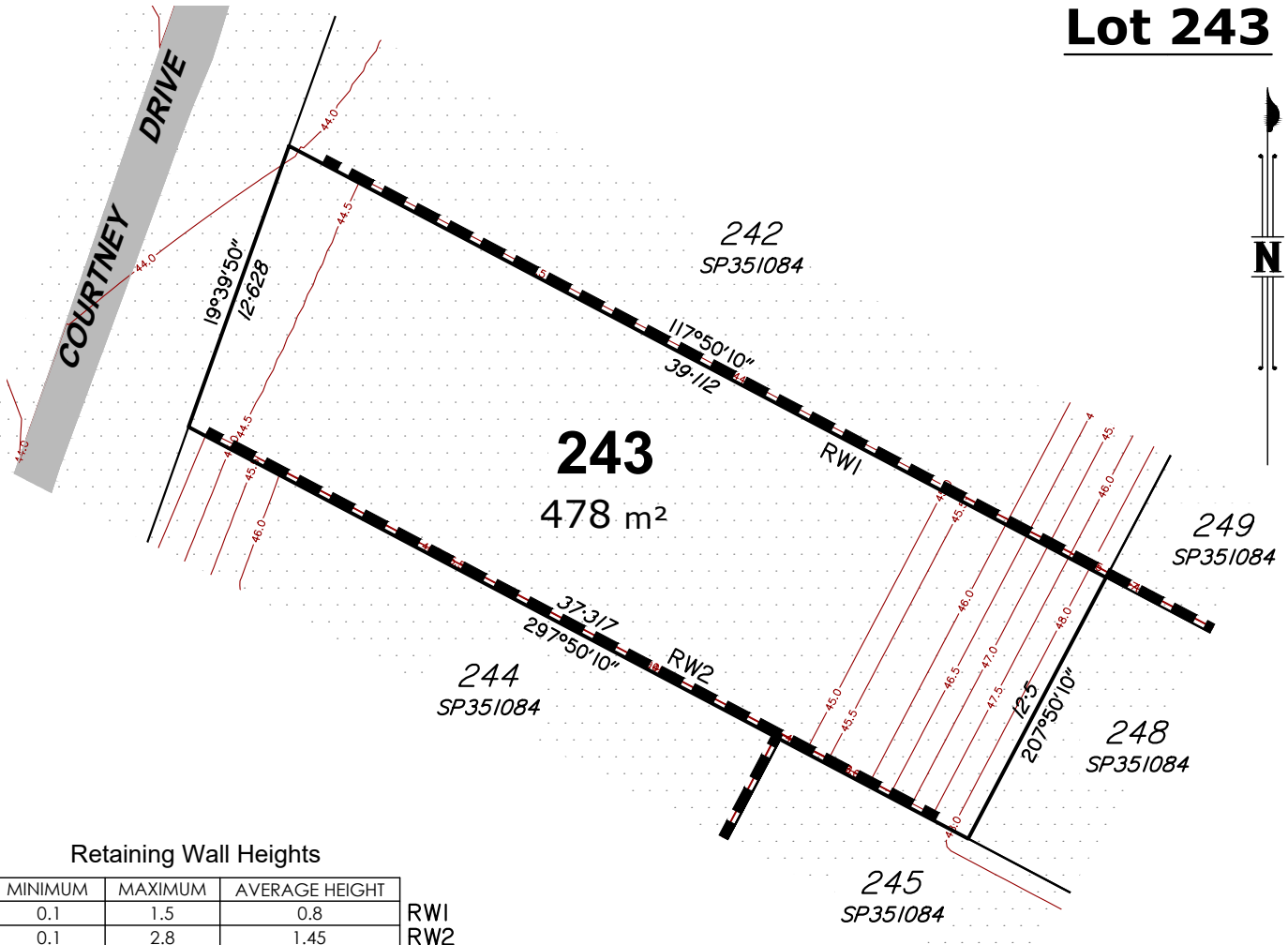
Title: **Disclosure Plan for Lot 230**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality: UPPER COOMERA  
Local Gov: GCCC    Prepared By: SDS  
Surveyed By: JS    Approved: SWM  
Date Created: 12/9/2024    Scale: 1:300  
Comp File: 171101.project  
Plan No: **171101\_039\_DIS**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

# Lot 243



### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	2.8	1.45	RW2

### LEGEND

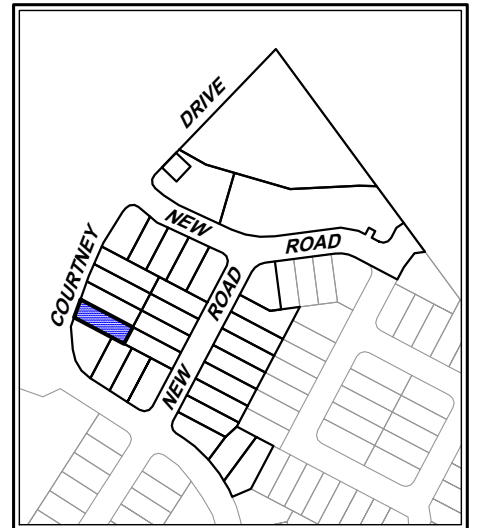
- Approximate Cut Area
- Approximate Fill Area
- Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 243 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

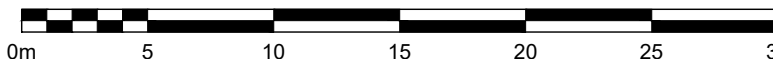
### LOCALITY

SCALE 1:5000



Scale 1:300

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Title: **Disclosure Plan for Lot 243**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

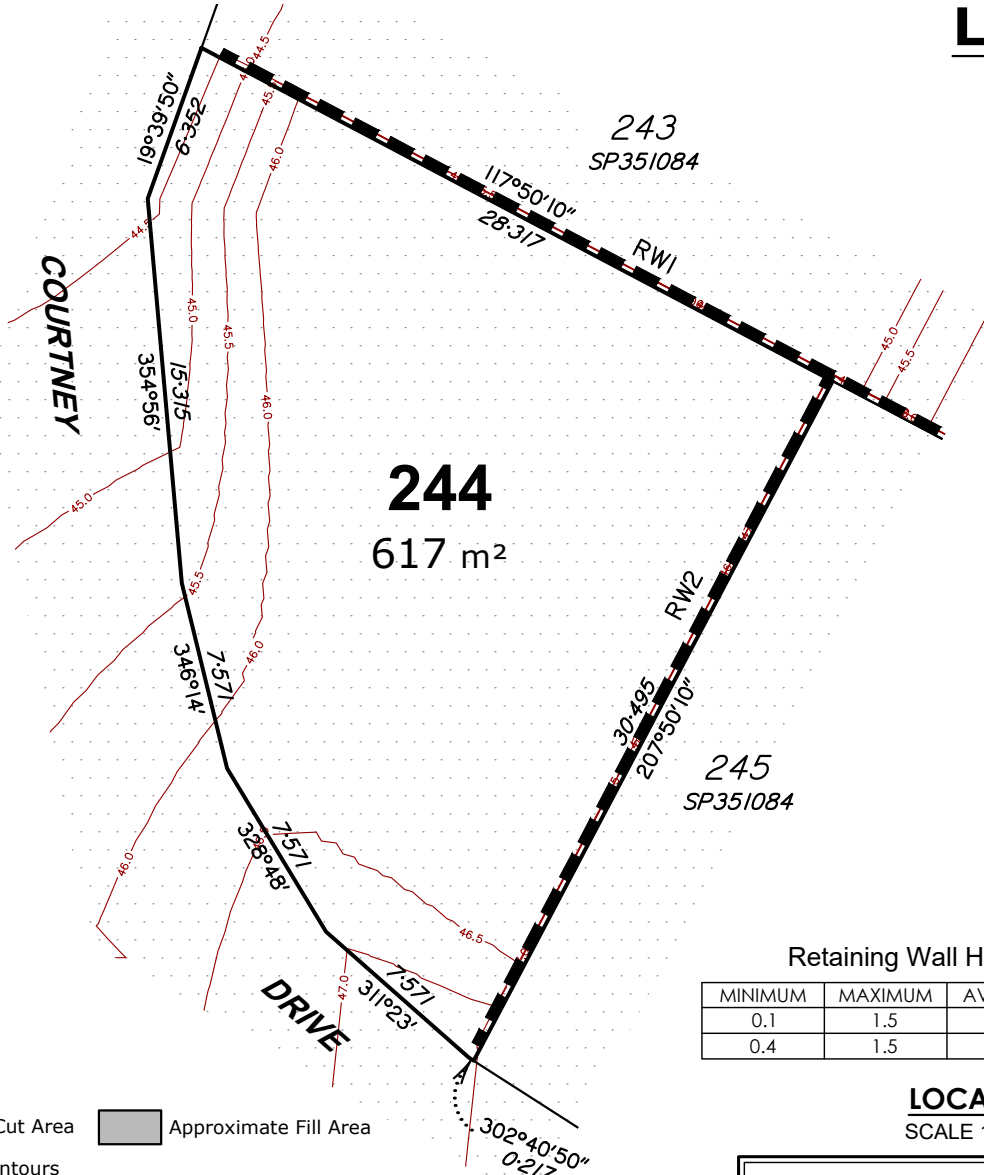
Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes



# Lot 244

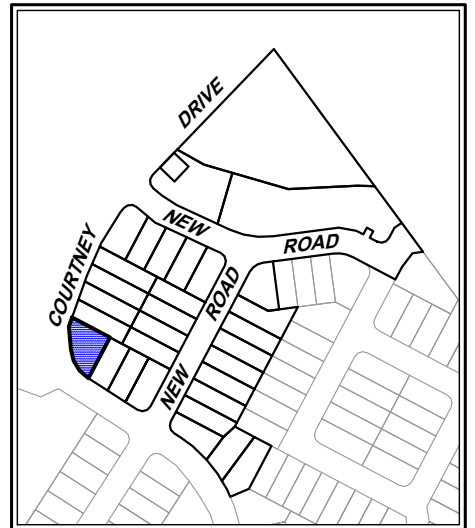


### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.4	1.5	0.95	RW2

### LOCALITY

SCALE 1:5000



### LEGEND

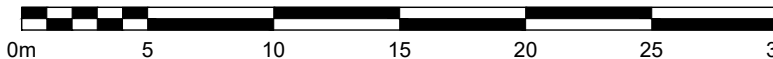
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- \* Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 244 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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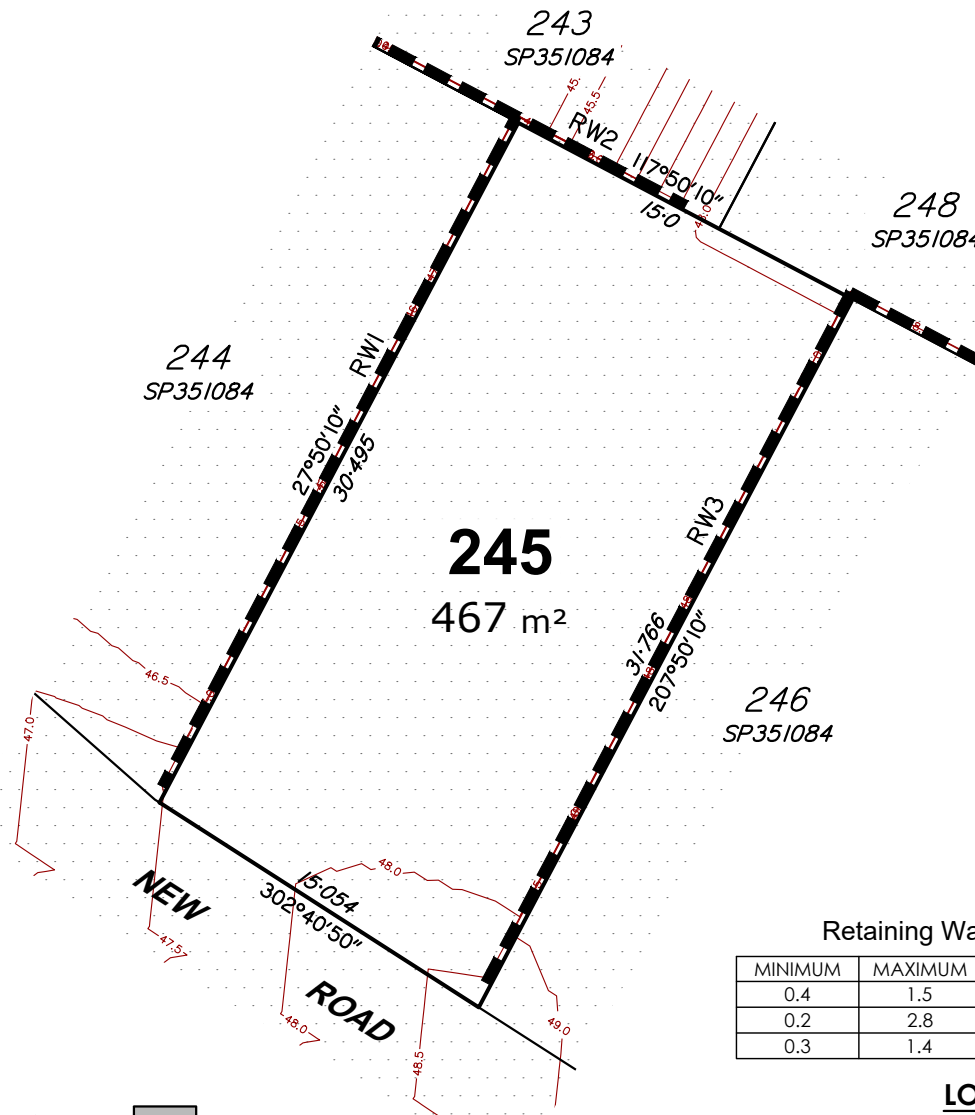
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Title: **Disclosure Plan for Lot 244**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		



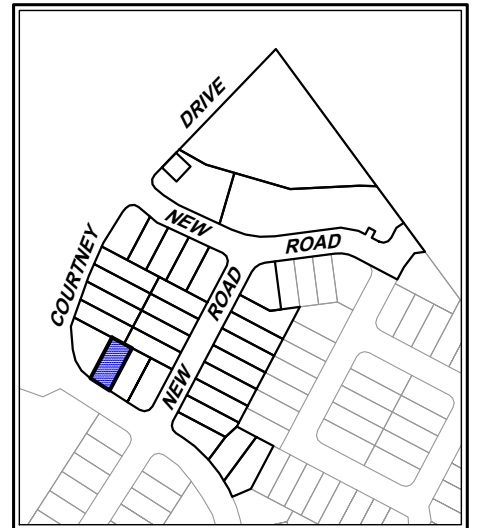
Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.4	1.5	0.95	RW1
0.2	2.8	1.5	RW2
0.3	1.4	0.85	RW3

## LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

**LOCALITY**  
SCALE 1:5000

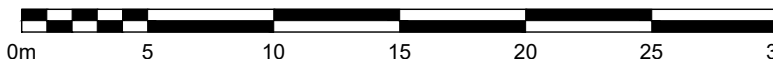


Scale 1:300

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 245 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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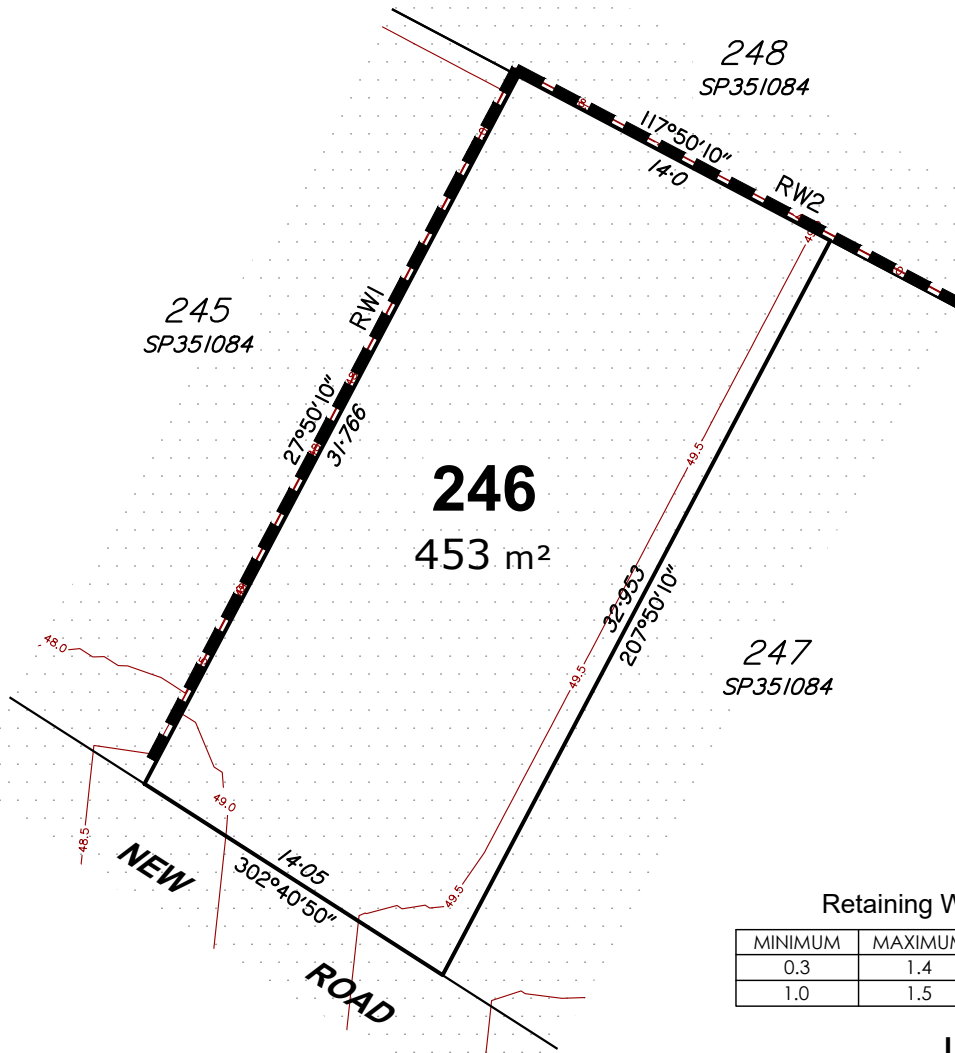
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Title: **Disclosure Plan for Lot 245**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.3	1.4	0.85	RW1
1.0	1.5	1.25	RW2

## LEGEND

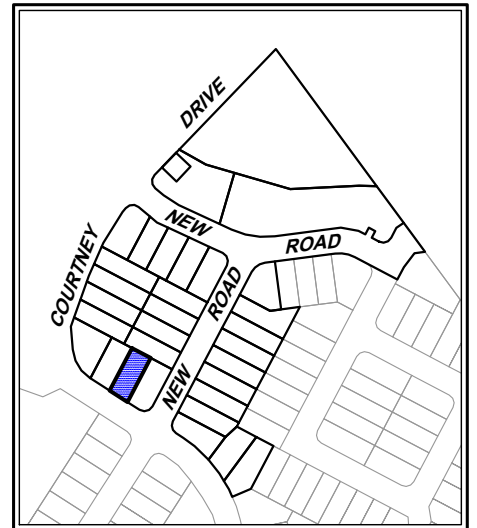
- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 246 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

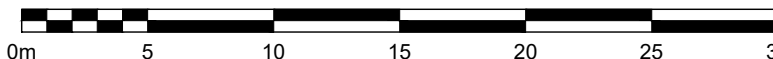
## LOCALITY

SCALE 1:5000



Scale 1:300

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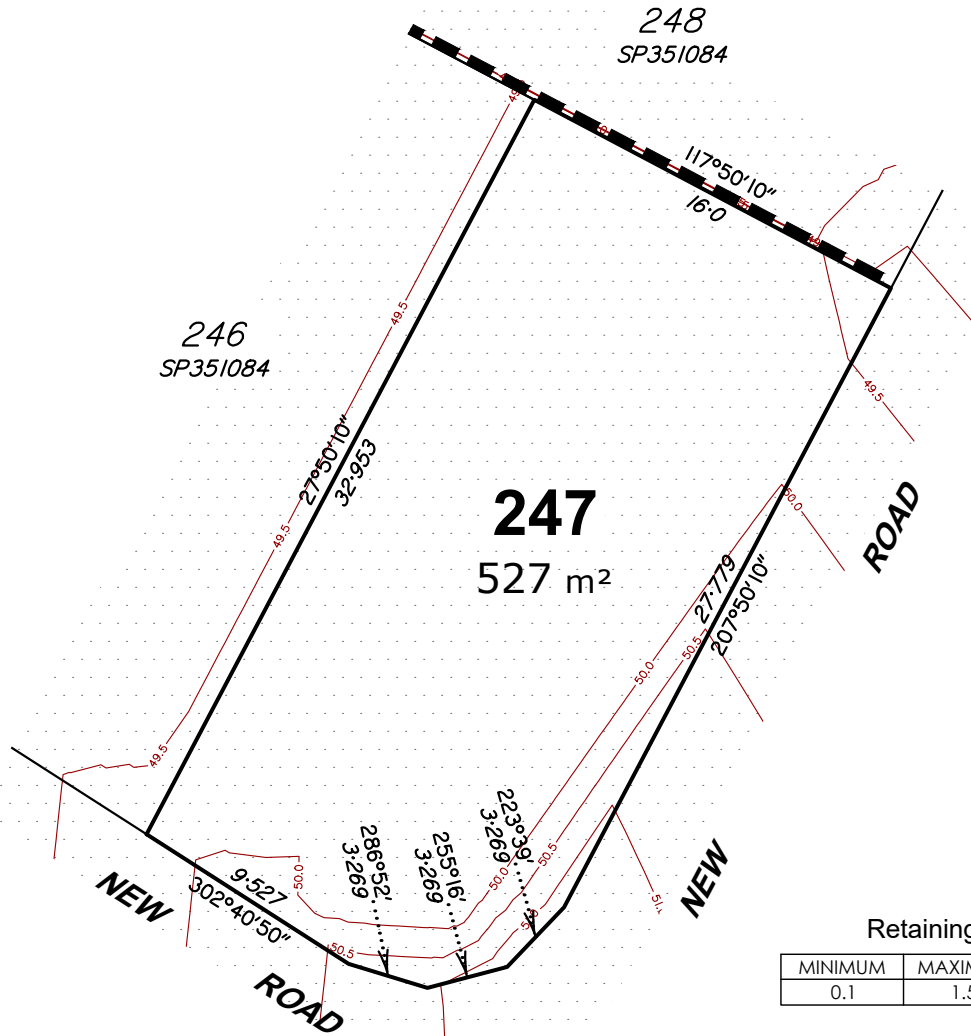
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Title: **Disclosure Plan for Lot 246**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

Client: **HB AUSTRALIA**  
**PTY LTD**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes



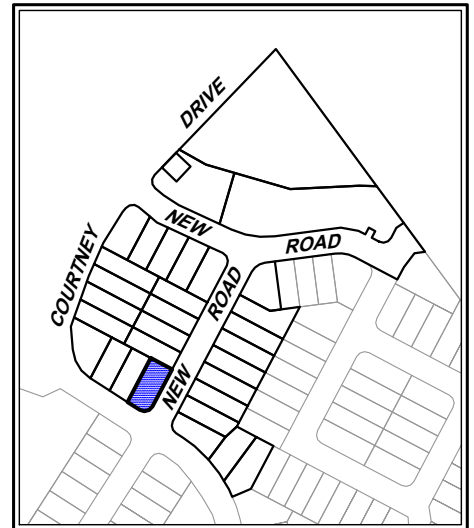
### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- \* Denotes two tier retaining wall

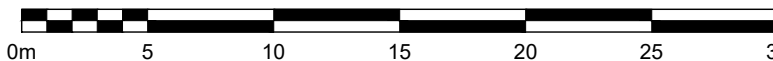
### LOCALITY SCALE 1:5000



- Notes:
1. Drawn to Scale on A4 sheet.
  2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
  3. Contour Interval 0.5m
  4. All dimensions and areas are subject to final survey and approval by GCCC.
  5. This plan has been prepared for disclosure under the Land Sales Act 1984.
  6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
  7. This plan shows details of Proposed Allotment 247 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
  8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

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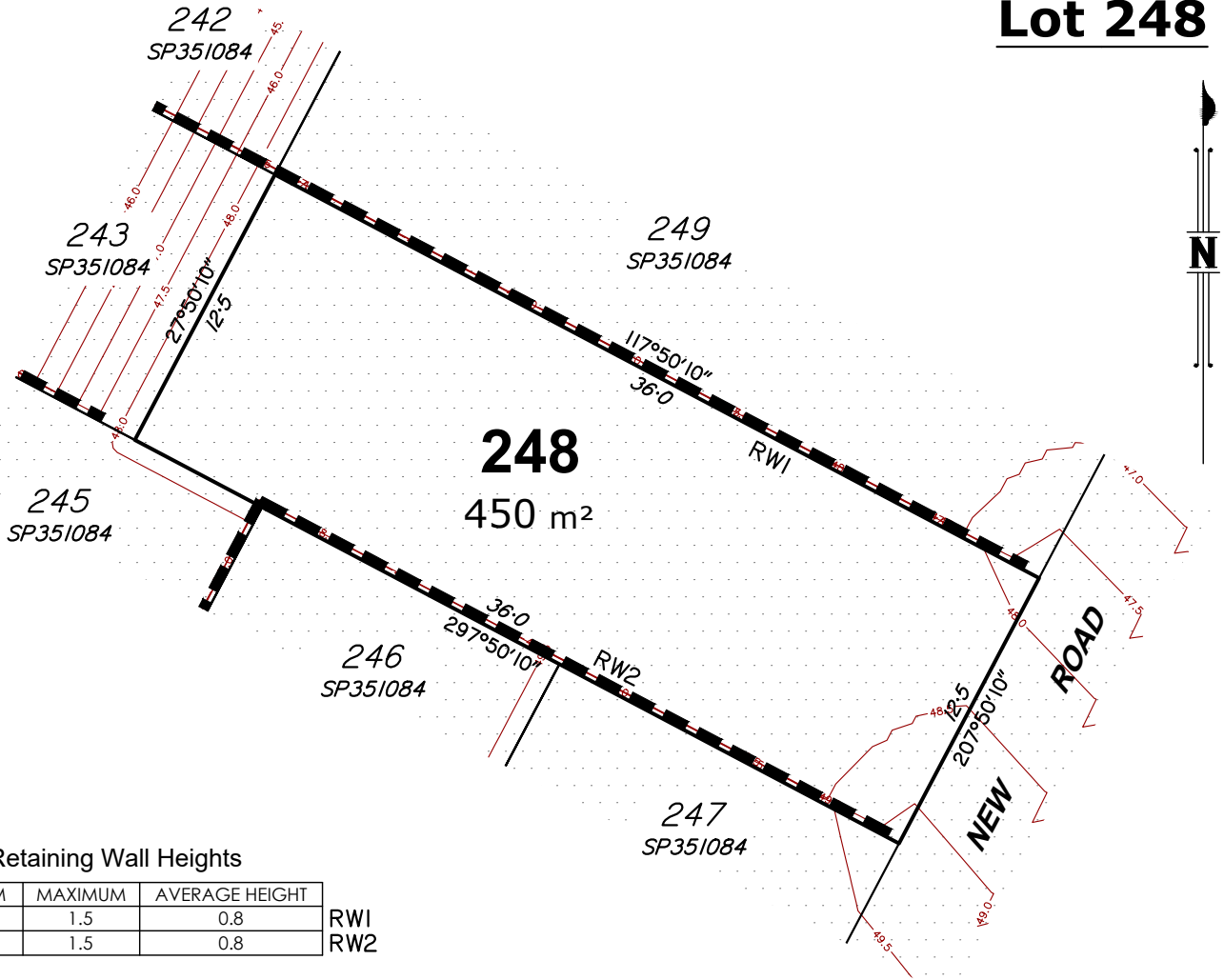
Title: **Disclosure Plan for Lot 247 on SP351084 Courtney Drive, Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: SDS
Surveyed By:	JS	Approved: SWM
Date Created:	12/9/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_039_DIS	

# Lot 248



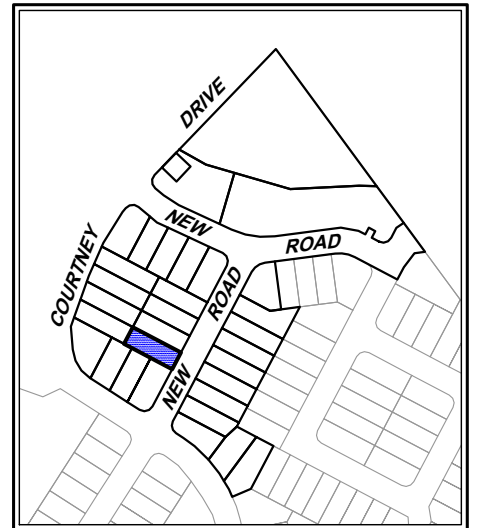
### Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

### LOCALITY SCALE 1:5000

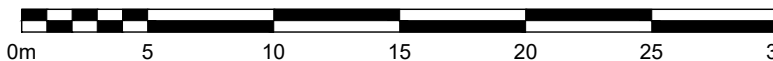


Scale 1:300

#### Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 248 on proposal plan 171101\_021\_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

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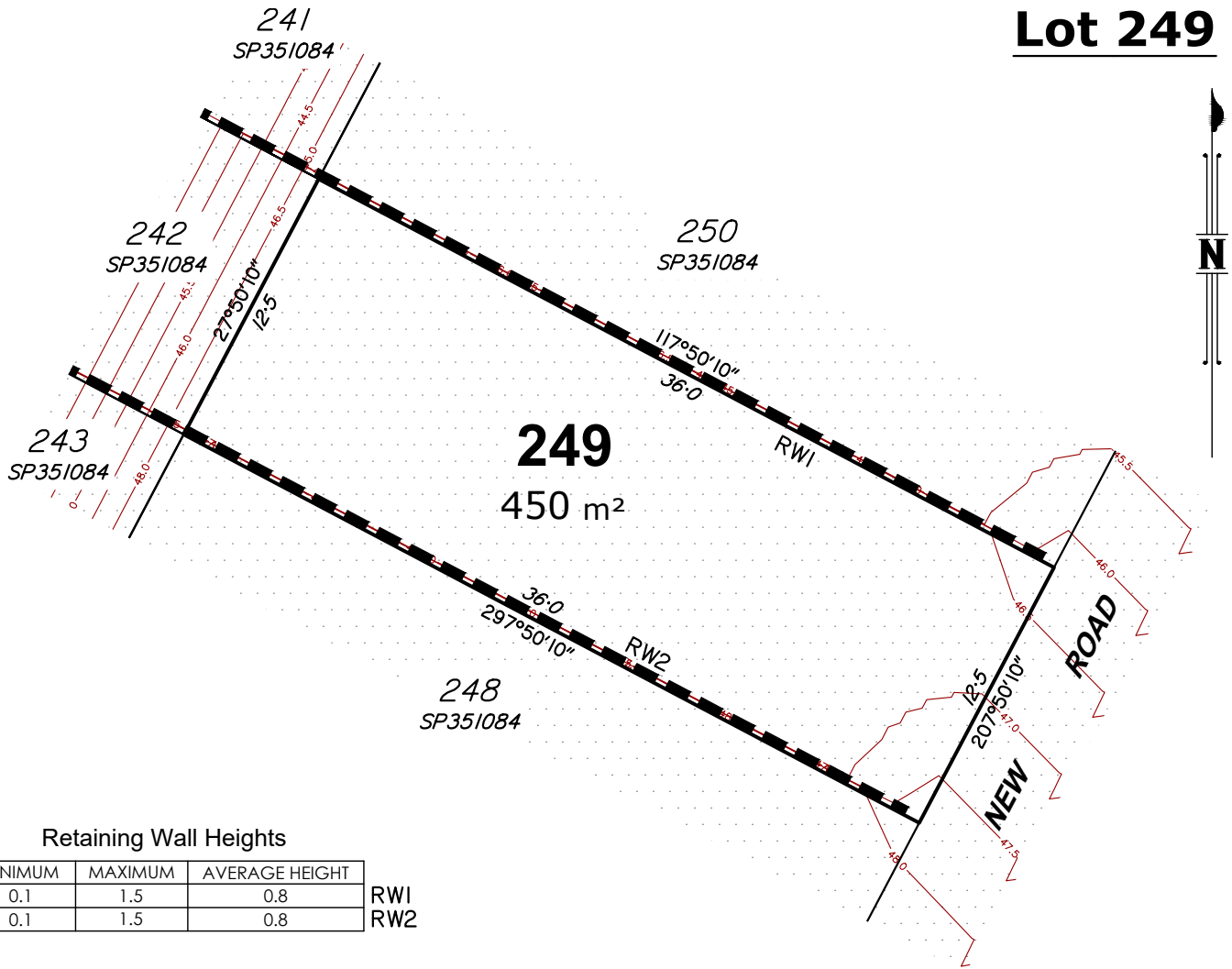
Title: **Disclosure Plan for Lot 248**  
**on SP351084 Courtney Drive,**  
**Upper Coomera (Stage 4)**

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client: **HB AUSTRALIA  
PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	SDS
Surveyed By:	JS
Approved:	SWM
Date Created:	12/9/2024
Scale:	1:300
Comp File:	171101.project
Plan No:	171101_039_DIS

# Lot 249



### Retaining Wall Heights

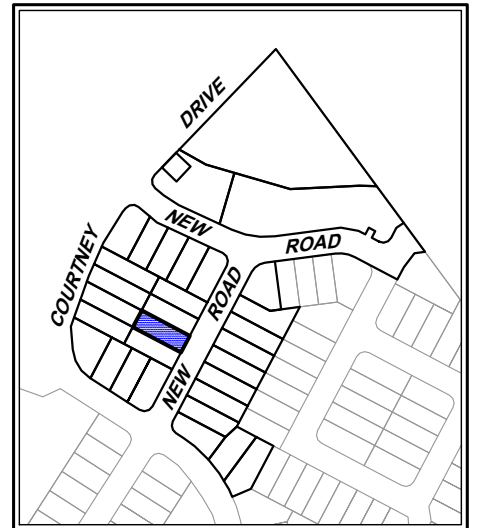
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
0.1	1.5	0.8	RW1
0.1	1.5	0.8	RW2

### LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours  
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-04-000 to 41901-04-710 provided by Mortons Urban Solutions. (OPW/2024/523-11/09/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- \* Denotes two tier retaining wall

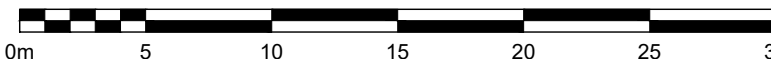
### LOCALITY

SCALE 1:5000



Scale 1:300

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## Title: Disclosure Plan for Lot 249 on SP351084 Courtney Drive, Upper Coomera (Stage 4)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes

Client:	HB AUSTRALIA PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SDS
Surveyed By:	JS	Approved:	SWM
Date Created:	12/9/2024	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101_039_DIS		