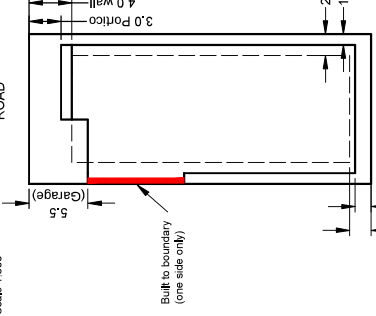


PLAN OF DEVELOPMENT

Dwelling Setbacks	Ground (up to 4.5m)	First (4.5m and above)
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on Plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary Wall (Maximum)	3m	

- Front building setbacks for garages are to be measured to the face of the garage. Front setbacks for buildings are to be measured to the face of the building. Side and rear building setbacks are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
- An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
- Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
- Secondary frontage being the frontage with the longer dimension unless allowed within the easement provisions.
- No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
- Lots 111-116 are subject to split level earthworks pads and split level building product.
- Boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
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BUILDING ENVELOPE DIAGRAM
 Scale 1:500



- LEGEND**
- Built to Boundary Wall
 - Built to Boundary Wall - Nominated Boundary
 - Wall (Ground Level)
 - Wall (First Level)
 - Secondary frontage - No direct vehicle access
 - Courtyard Lots (less than 600m²)
 - Traditional Lots (600m² and greater)



- NOTES:**
- Drawn to scale on an A3 sheet.
 - All dimensions and areas are subject to final survey and approval by G.C.C.C.
 - Dimensions shown are to the nearest decimeter.

Issue	Revision	Int	Date
F	Layout updated	HK	19/07/2023
E	No access lines updated	HK	03/11/2022
D	Updating B/B wall locations	HK	21/09/2022
C	Update to Staging & B/B wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

**Plan of Development
 Stage 4**

Courtesy Drive, Upper Coomera
 (Described as Lots 188-192 on
 RP173728)

Client: GALLERY HOMES

Locality: UPPER COOMERA

Local Gov: GCCC

Surveyed By: DR

Date Created: 16/11/2020

Scale: 1:1250

Comp File: 171101_023_PRO

Plan No: 171101_023_PRO