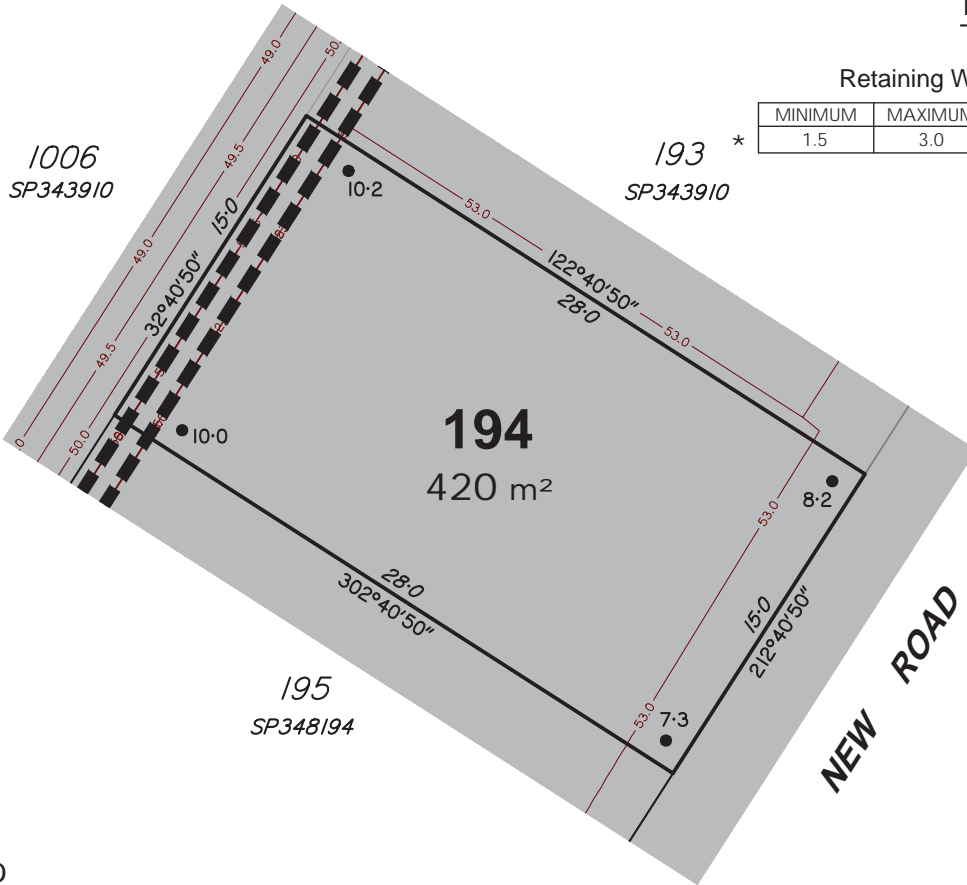


Lot 194

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	3.0	2.25



LEGEND

Approximate Cut Area Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).

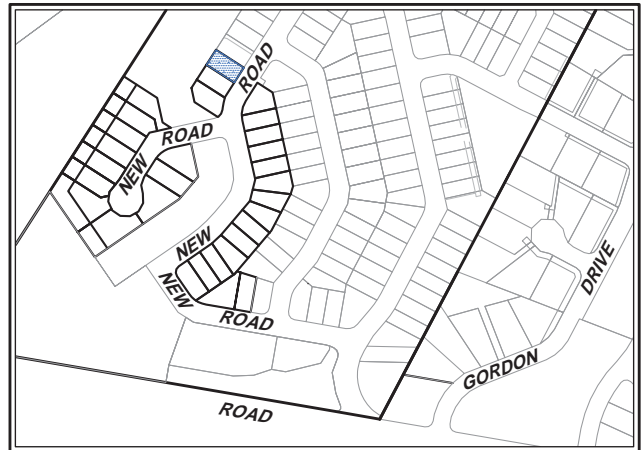
Denotes retaining wall

1.0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 194 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

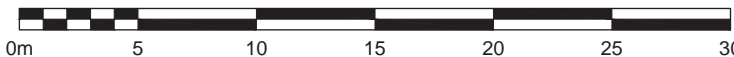


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



Sheet 1 of 30



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Title: **Disclosure Plan for
Lot 194 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA
PTY LTD**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DJL**

Surveyed By: **JS** Approved: **SWM**

Date Created: **19/04/2024** Scale: **1:300**

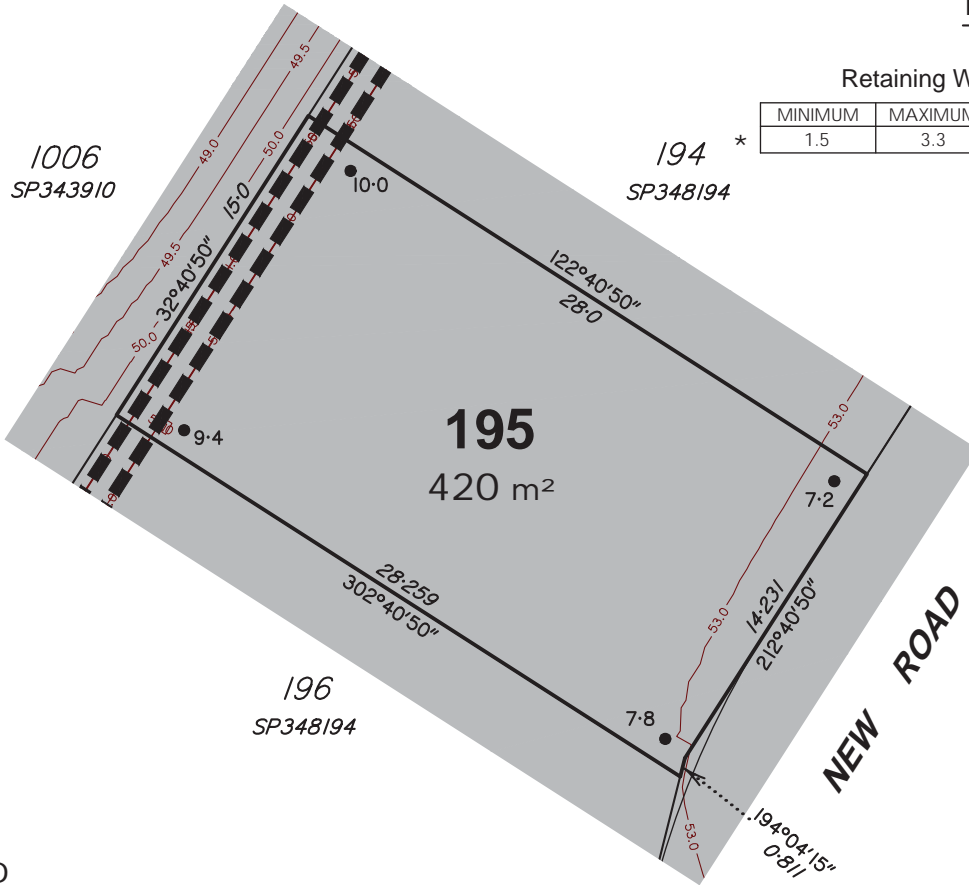
Comp File: **171101.project**

Plan No: **171101_035_DIS**

Lot 195

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	3.3	2.55



LEGEND

Approximate Cut Area Approximate Fill Area

2.4 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).

Denotes retaining wall

1.0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 195 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

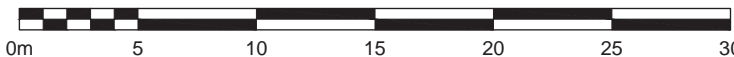


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



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Title: **Disclosure Plan for Lot 195 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA PTY LTD**
Locality: **UPPER COOMERA**
Local Gov: **GCCC** Prepared By: **DJL**
Surveyed By: **JS** Approved: **SWM**
Date Created: **19/04/2024** Scale: **1:300**
Comp File: **171101.project**
Plan No: **171101_035_DIS**

Lot 196

Retaining Wall Heights

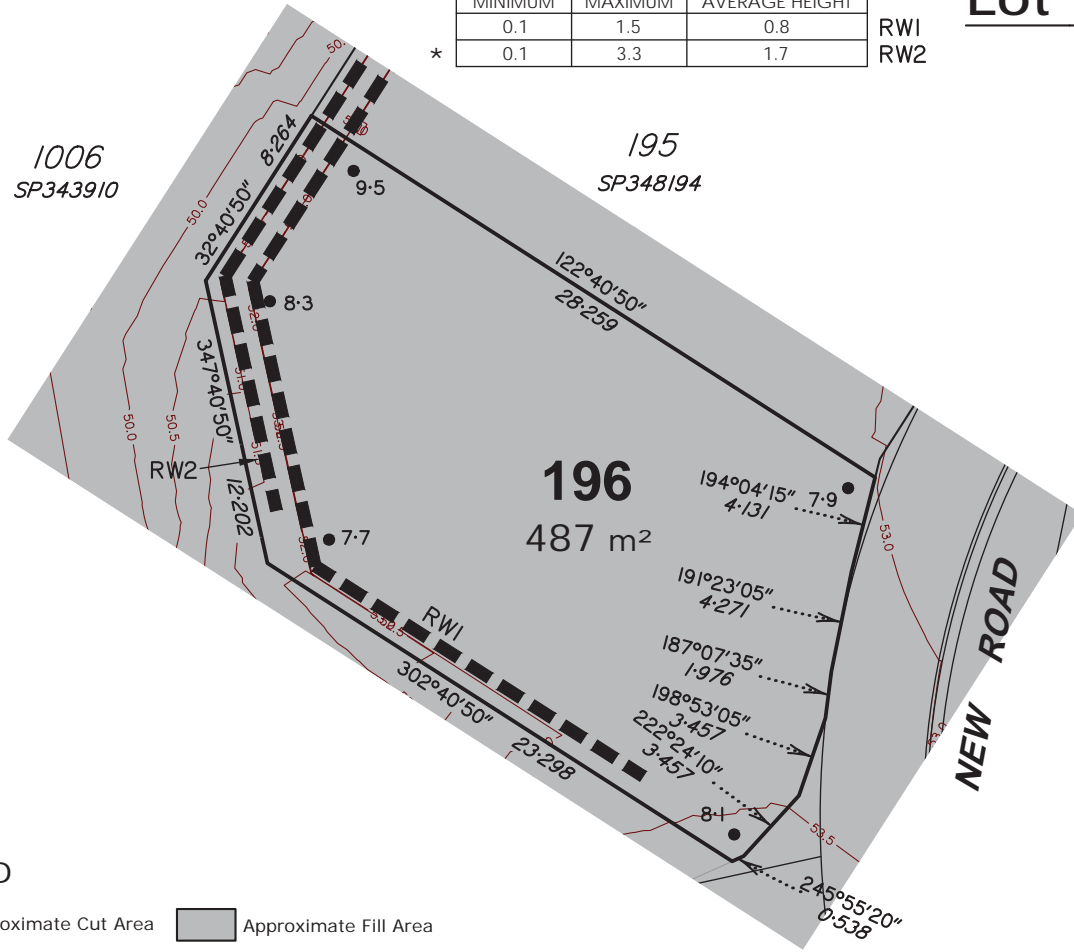
MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
* 0.1	3.3	1.7

RWI
RW2



1006
SP343910

195
SP348194

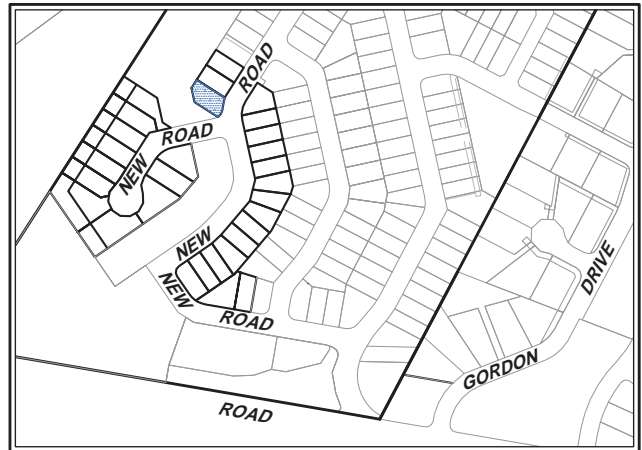


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 2.4 Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

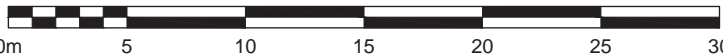
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 196 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 3 of 30



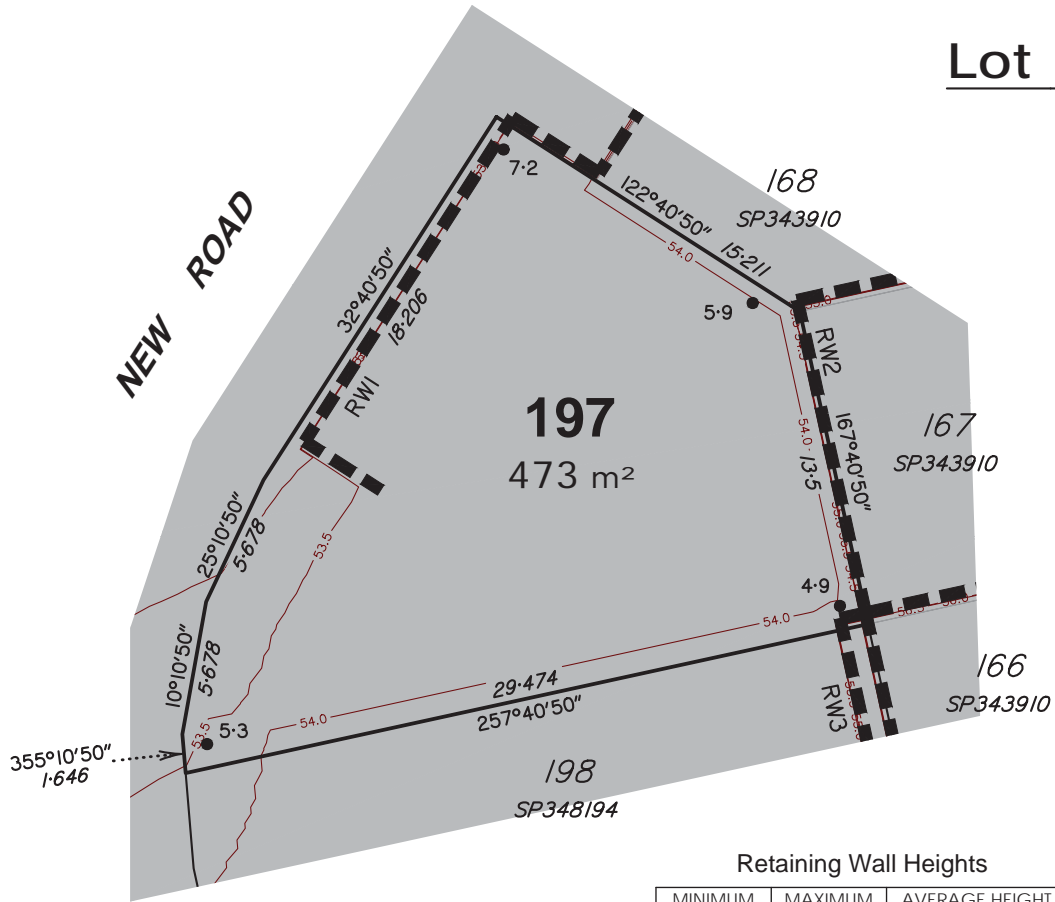
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Title: **Disclosure Plan for
Lot 196 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.0	0.55
1.3	1.5	1.4
* 1.2	2.4	1.8

RW1
RW2
RW3

LEGEND

Approximate Cut Area Approximate Fill Area

24 Design Contours

Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).

Denotes retaining wall

1.0 Denotes depth of fill

* Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 197 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



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Title: **Disclosure Plan for Lot 197 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

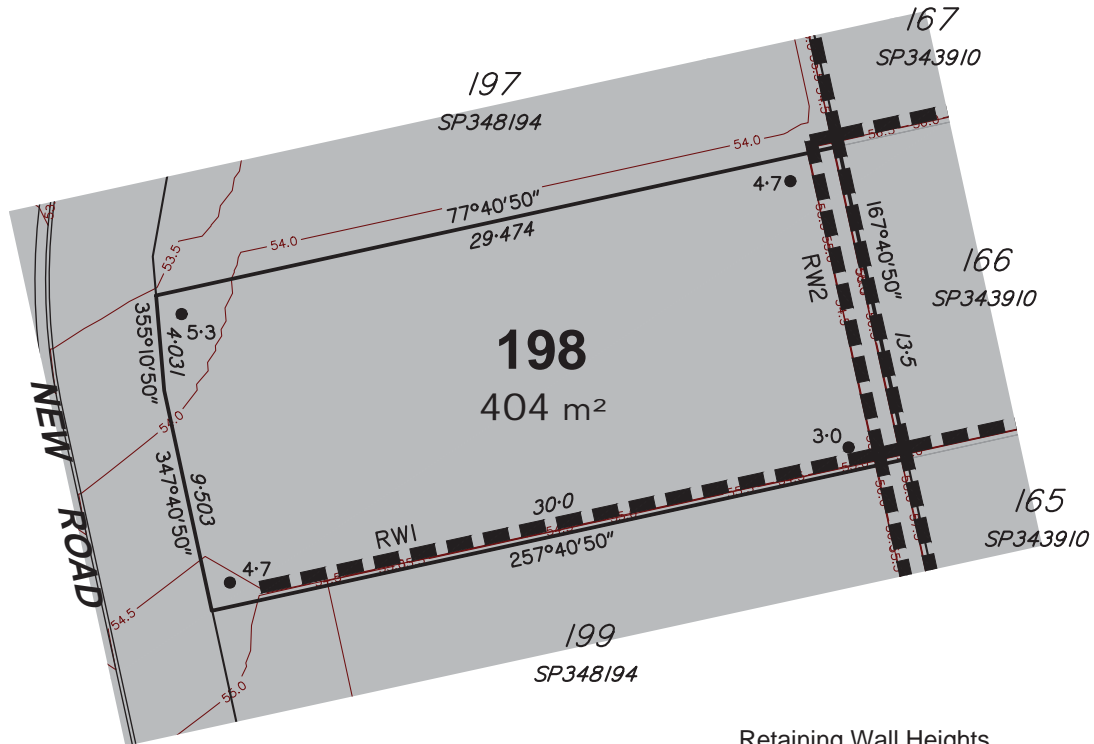
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Surveyed By:	JS
Date Created:	19/04/2024
Comp File:	171101.project
Plan No:	171101_035_DIS

Prepared By: DJL
Approved: SWM
Scale: 1:300

Lot 198



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

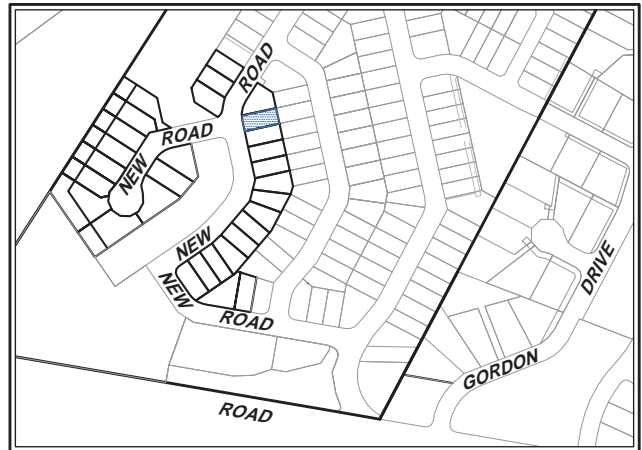
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 198 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.2	0.65
1.2	2.4	1.8

RW1
RW2

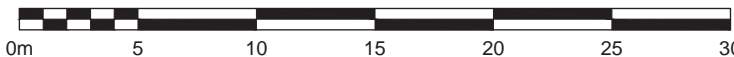


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



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Title: **Disclosure Plan for
Lot 198 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA
PTY LTD**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DJL**

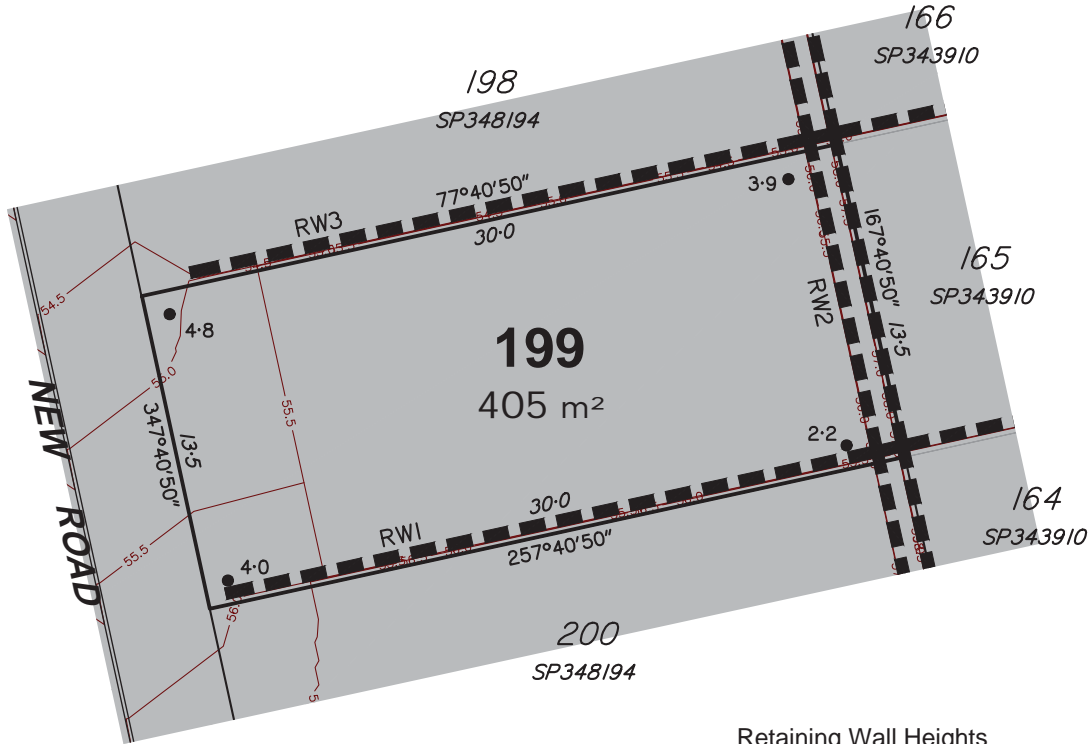
Surveyed By: **JS** Approved: **SWM**

Date Created: **19/04/2024** Scale: **1:300**

Comp File: **171101.project**

Plan No: **171101_035_DIS**

Lot 199



LEGEND

Approximate Cut Area Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).

Denotes retaining wall

1-0 Denotes depth of fill

Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 199 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.1	0.6
* 1.2	2.7	1.95
0.1	1.2	0.65

RW1
RW2
RW3

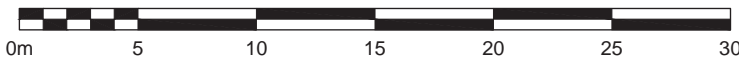


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



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Title: **Disclosure Plan for
Lot 199 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

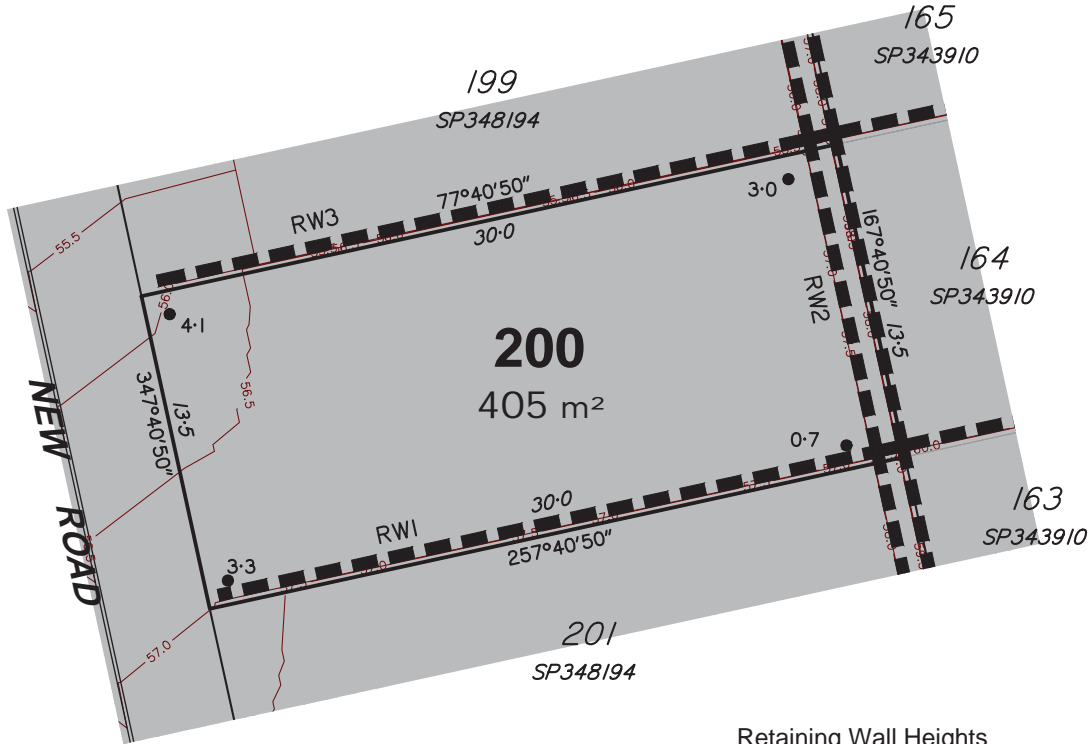
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA
PTY LTD**

Locality:	UPPER COOMERA
Local Gov:	GCCC
Surveyed By:	JS
Date Created:	19/04/2024
Comp File:	171101.project
Plan No:	171101_035_DIS

Prepared By: DJL
Approved: SWM
Scale: 1:300

Lot 200



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.2	0.65
1.2	2.7	1.95
0.1	1.1	0.6

RW1
RW2
RW3

Notes:

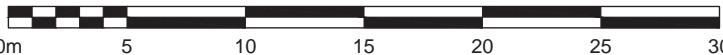
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 200 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

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www.bennettandbennett.com.au

Title:

**Disclosure Plan for
Lot 200 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By:

DJL

Surveyed By:

JS

Approved:

SWM

Date Created:

19/04/2024

Scale:

1:300

Comp File:

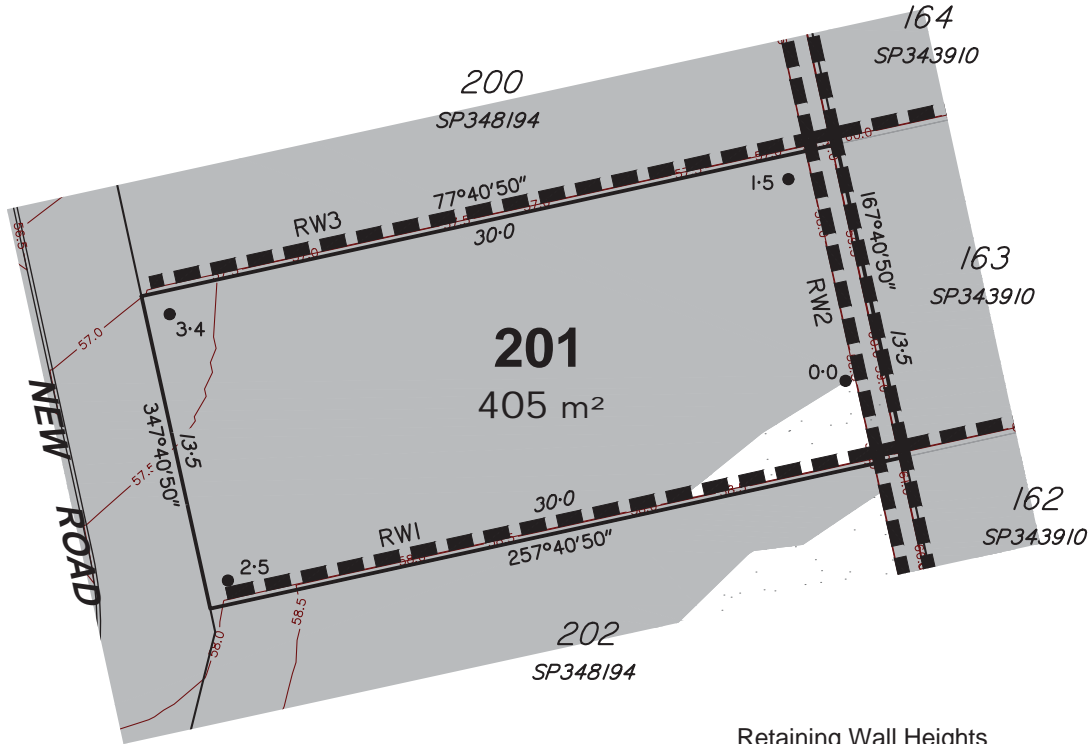
171101.project

Plan No:

171101_035_DIS

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Lot 201



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	0.9	0.5
1	2.5	1.75
0.1	1.2	0.65

RW1
RW2
RW3

Notes:

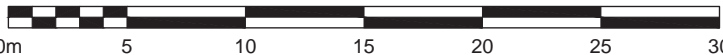
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 201 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

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Title:

**Disclosure Plan for
Lot 201 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By:

DJL

Surveyed By:

JS

Approved:

SWM

Date Created:

19/04/2024

Scale:

1:300

Comp File:

171101.project

Plan No:

171101_035_DIS

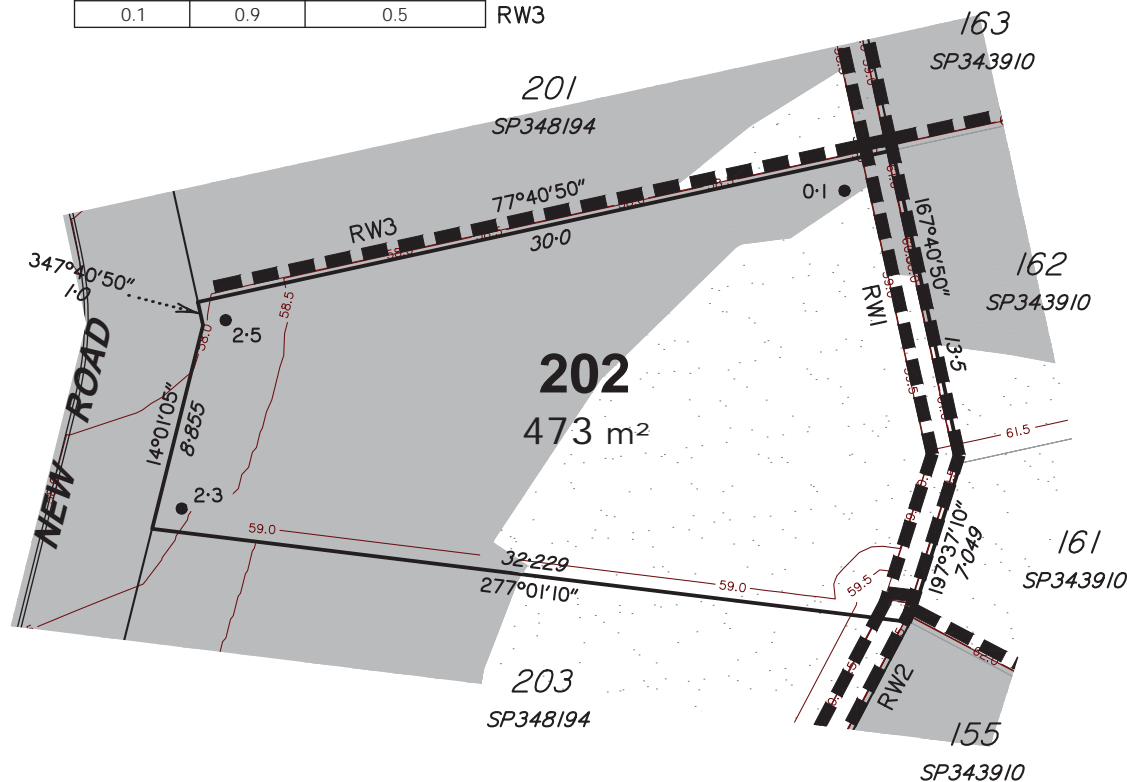
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT
*	0.5	2.0	1.25
*	1.3	2.8	2.15
	0.1	0.9	0.5

RW1
RW2
RW3

Lot 202

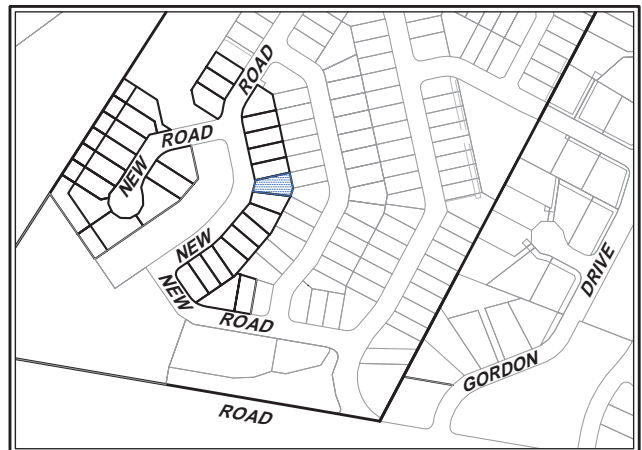


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 2.4 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 202 on proposal plan 1711101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 9 of 30



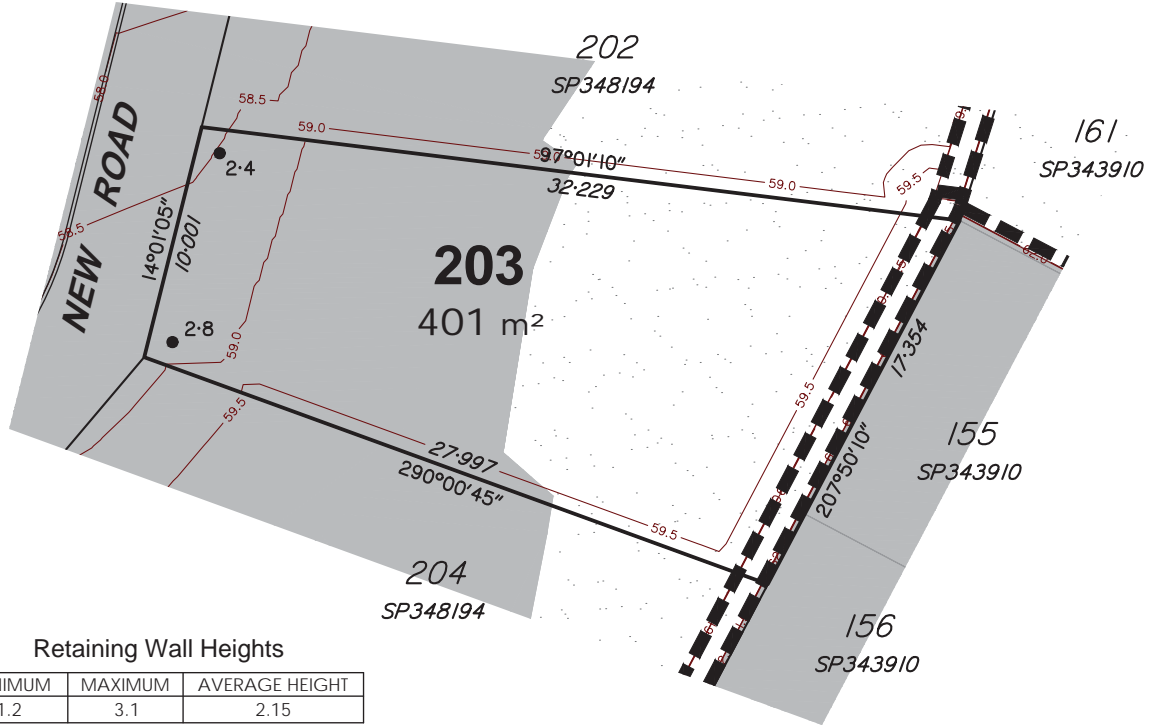
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Title: **Disclosure Plan for Lot 202 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	1711101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

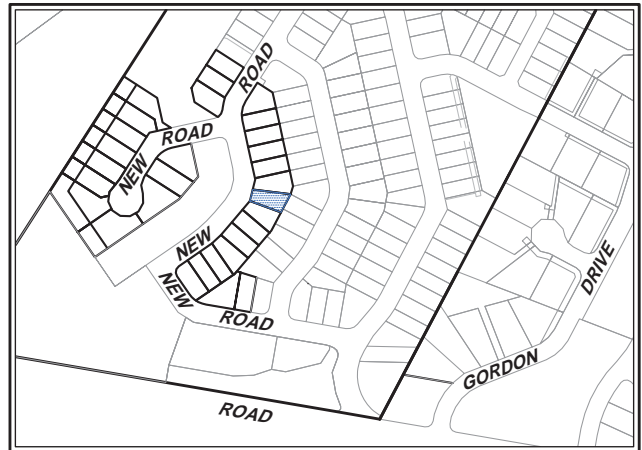
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.2	3.1	2.15

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

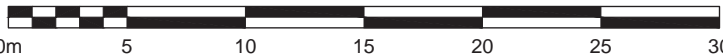
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 203 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 10 of 30



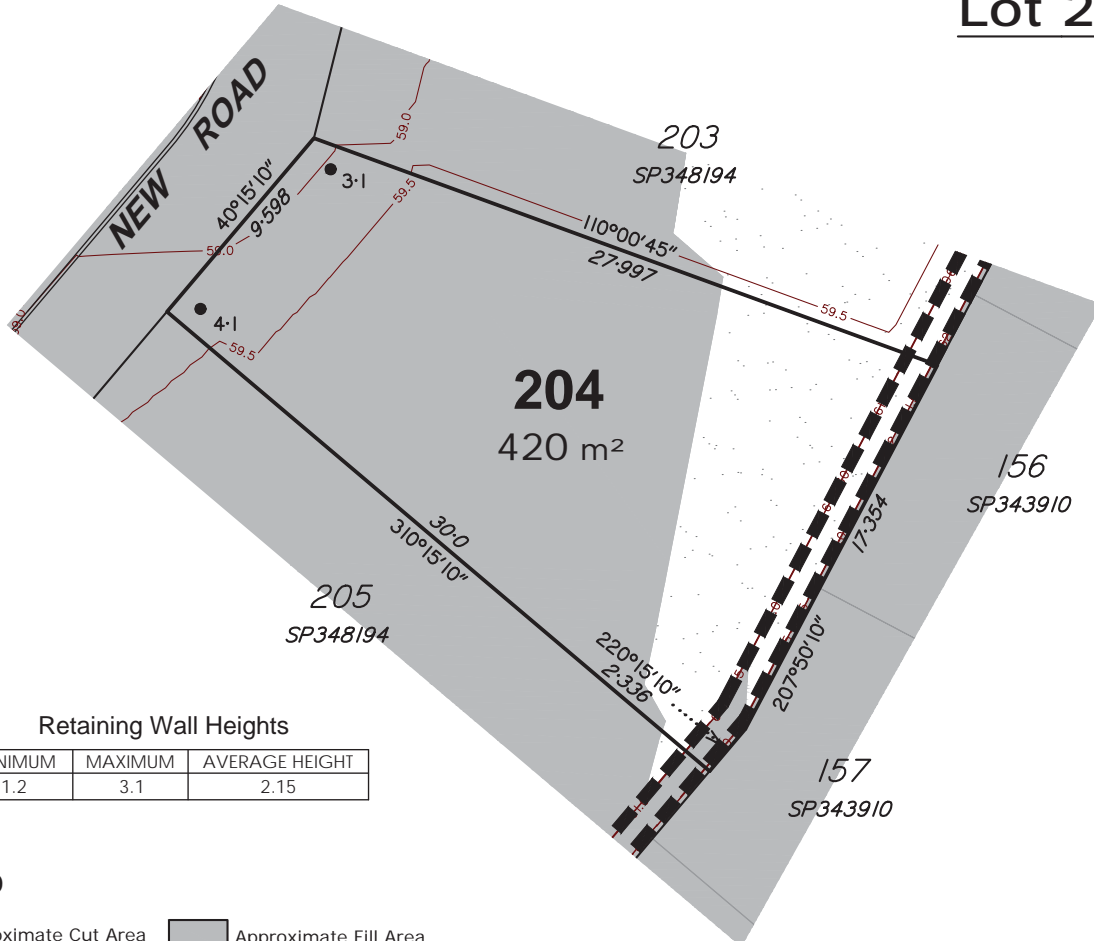
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Title: **Disclosure Plan for Lot 203 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.2	3.1	2.15

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

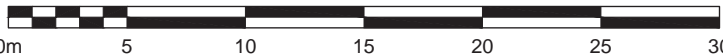
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 204 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 11 of 30



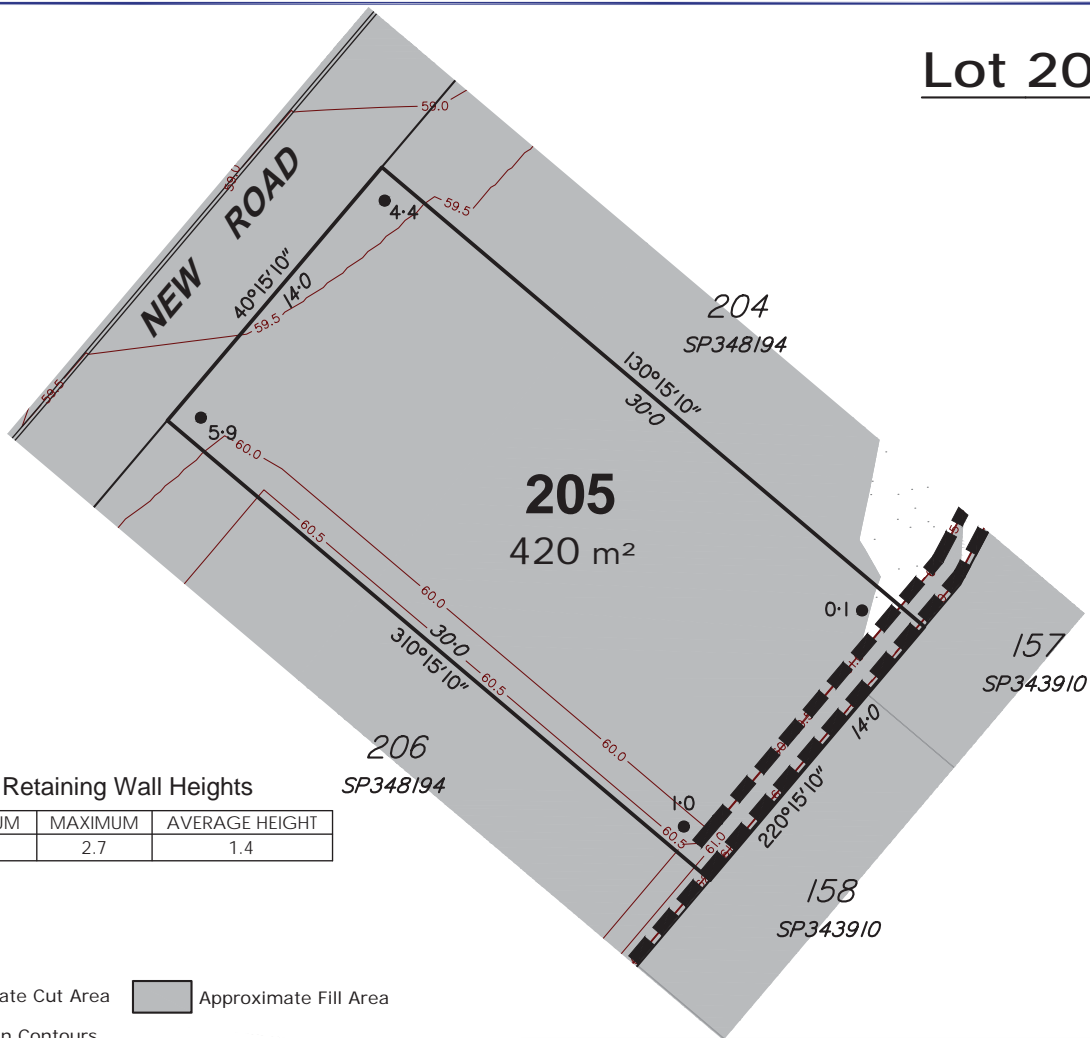
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Title: **Disclosure Plan for Lot 204 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	2.7	1.4

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

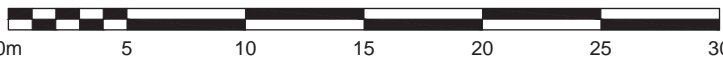
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 205 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 12 of 30



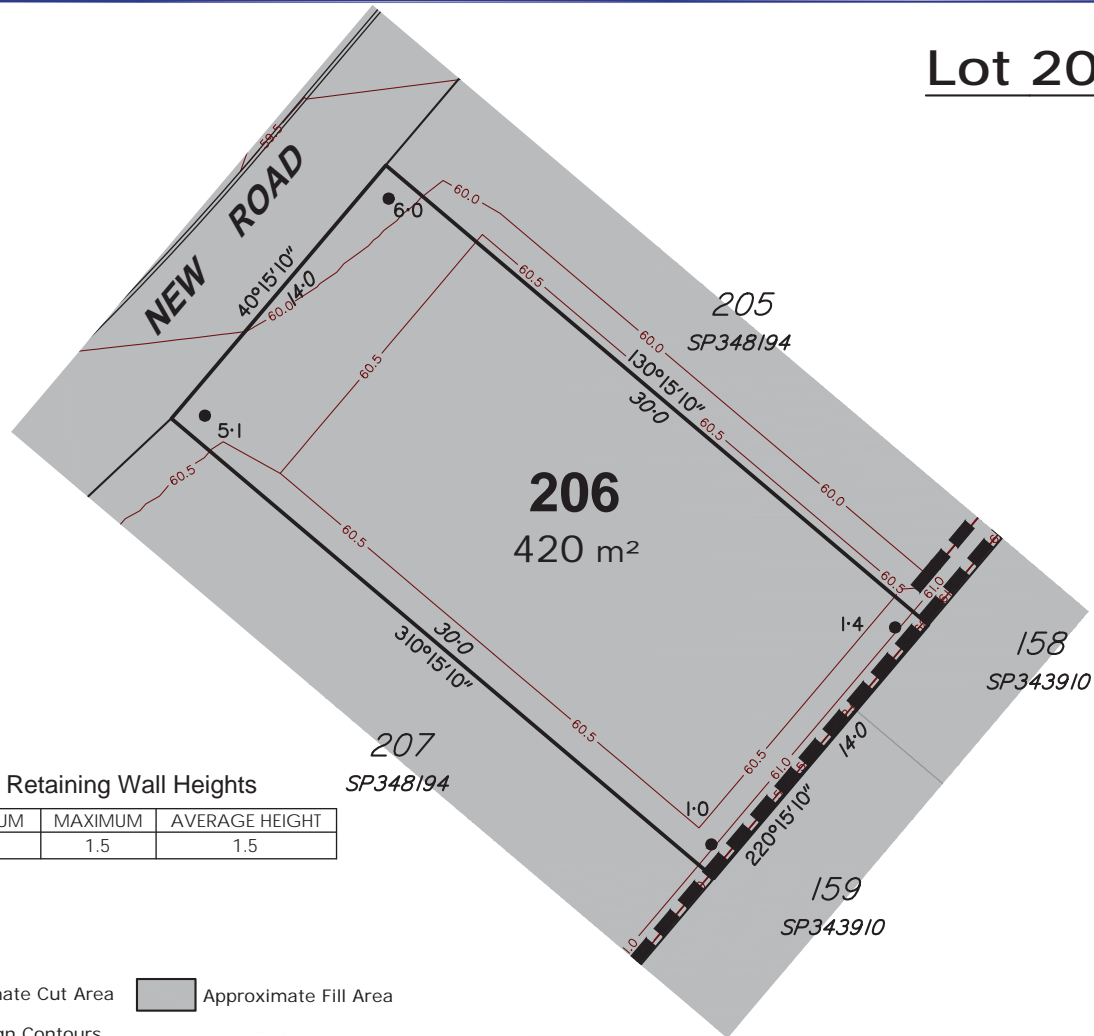
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Title: **Disclosure Plan for Lot 205 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

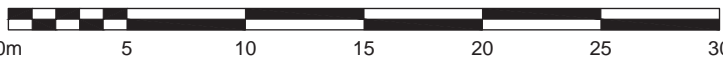
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 206 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

Sheet 13 of 30



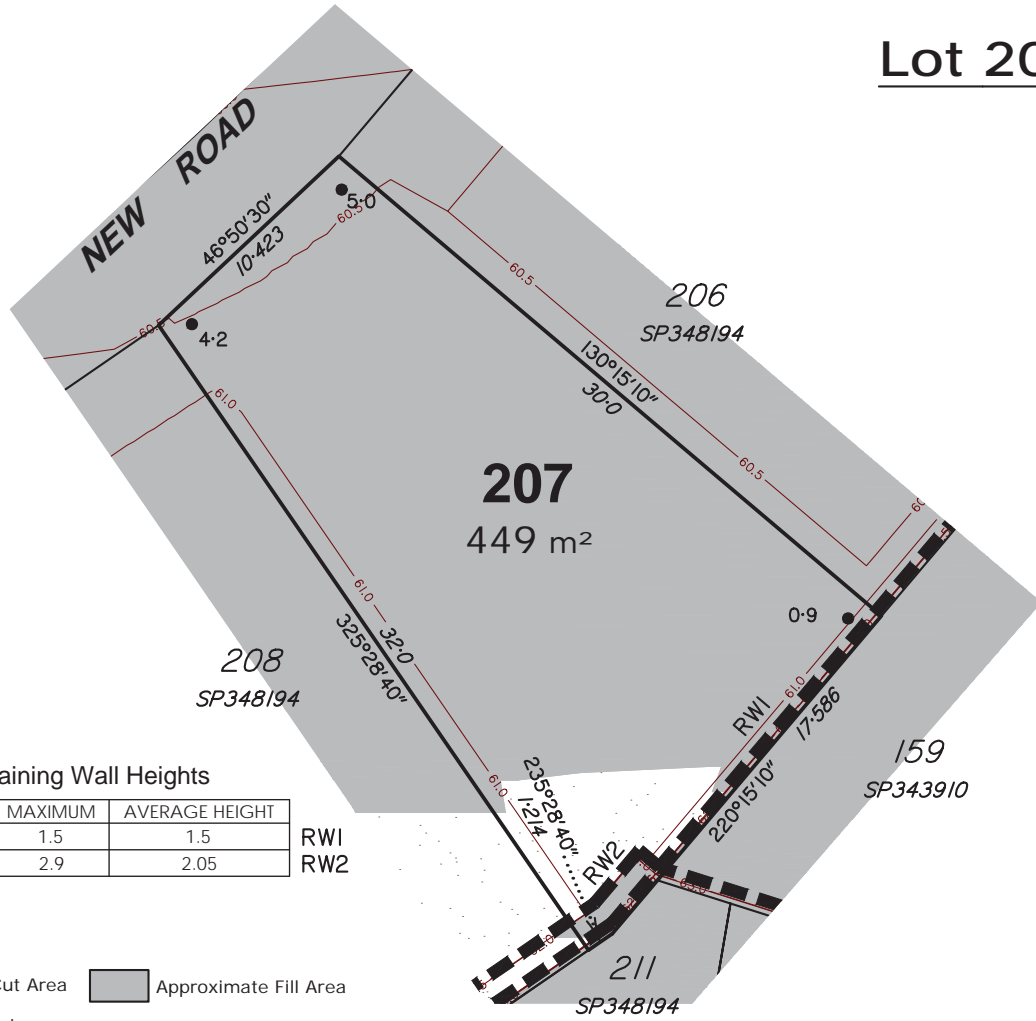
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Title: **Disclosure Plan for Lot 206 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

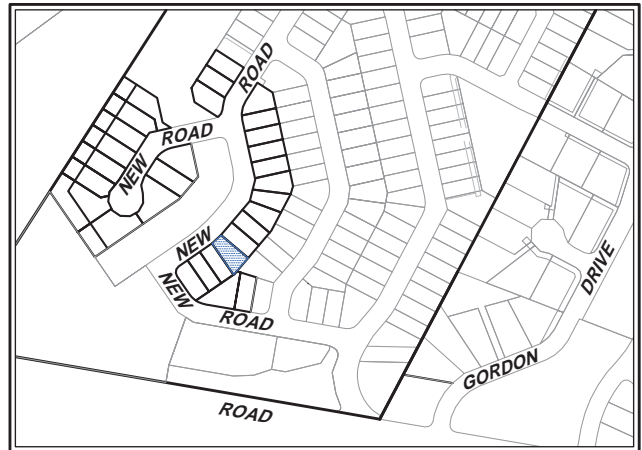
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.5	1.5	1.5	RW1
* 1.2	2.9	2.05	RW2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 2.4 Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 207 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

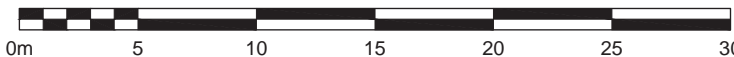


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



Sheet 14 of 30



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Title: **Disclosure Plan for Lot 207 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

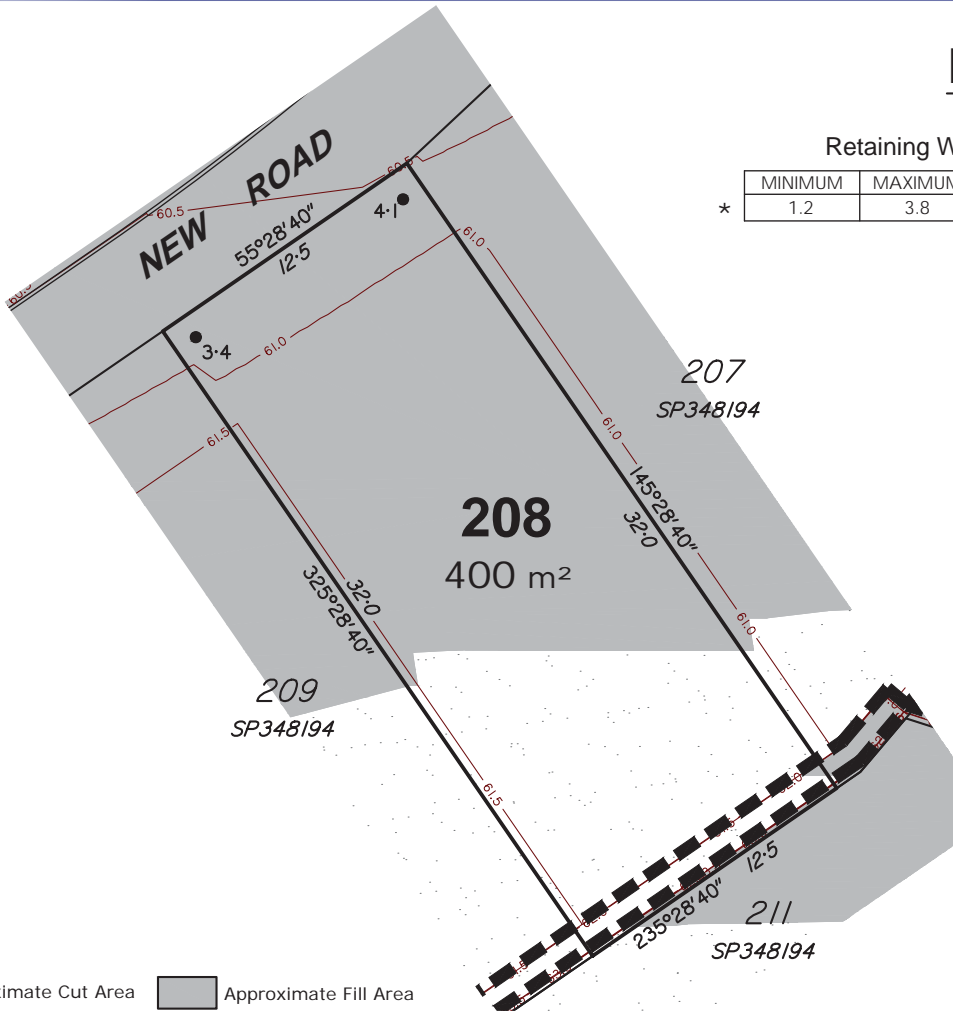
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	

Lot 208

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.2	3.8	1.9



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 208 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

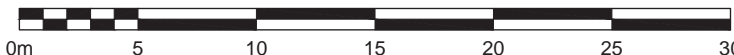


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



Sheet 15 of 30



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www.bennettandbennett.com.au

Title: **Disclosure Plan for
Lot 208 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA
PTY LTD**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: DJL

Surveyed By: JS Approved: SWM

Date Created: 19/04/2024 Scale: 1:300

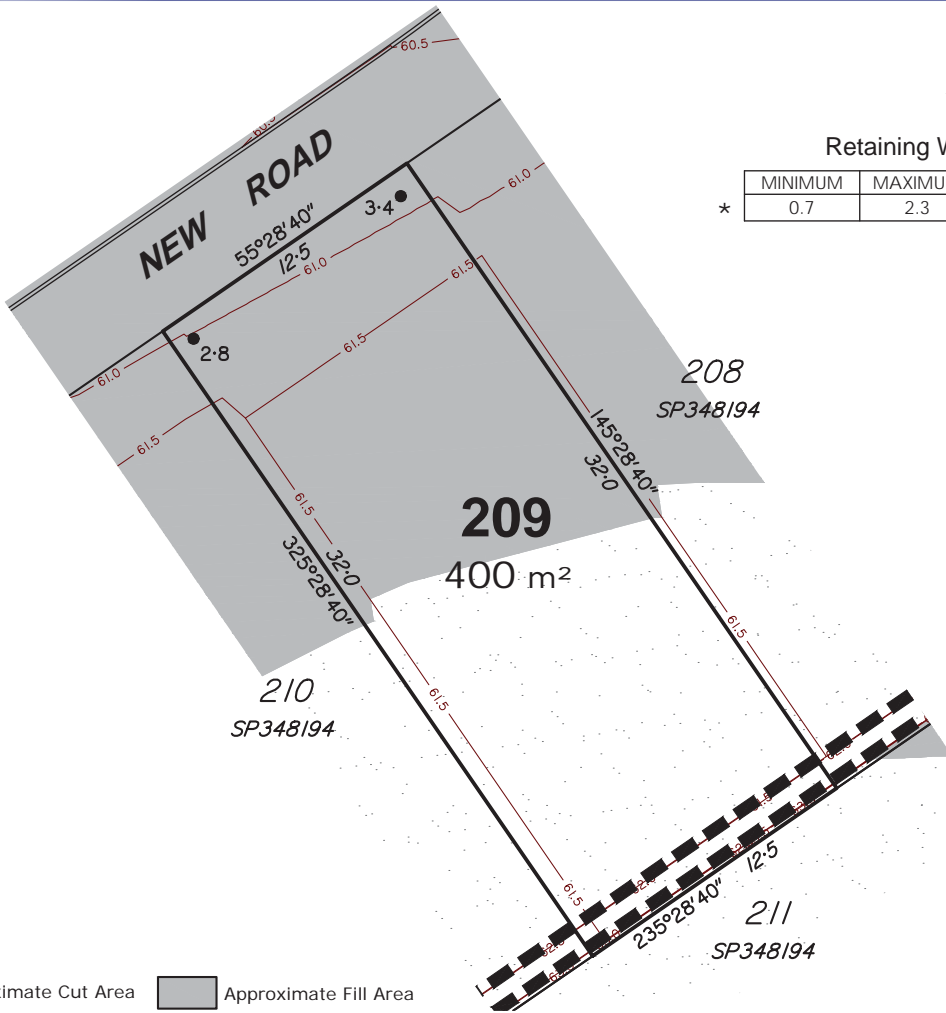
Comp File: 171101.project

Plan No: **171101_035_DIS**

Lot 209

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.7	2.3	1.5



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 209 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

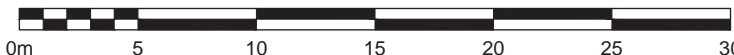


LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



Sheet 16 of 30



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www.bennettandbennett.com.au

Title: **Disclosure Plan for
Lot 209 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA
PTY LTD**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DJL**

Surveyed By: **JS** Approved: **SWM**

Date Created: **19/04/2024** Scale: **1:300**

Comp File: **171101.project**

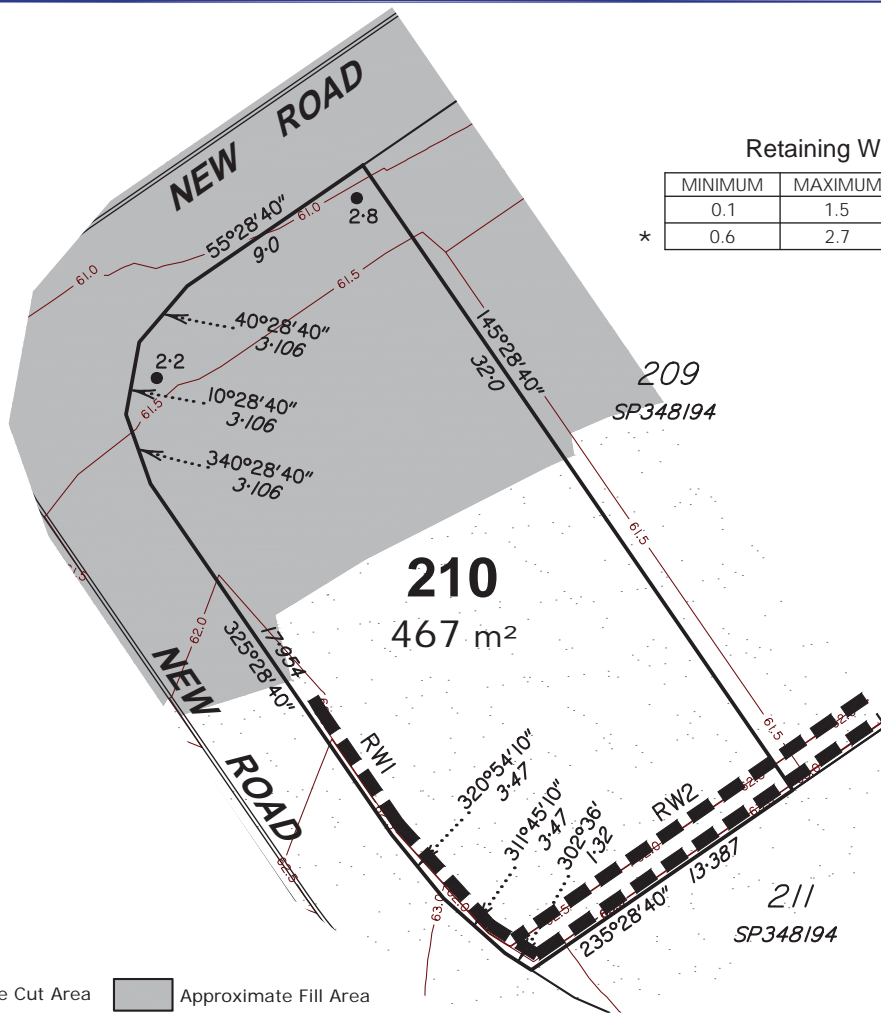
Plan No: **171101_035_DIS**

Lot 210

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.5	0.8
0.6	2.7	1.35

RWI
RW2



LEGEND

Approximate Cut Area Approximate Fill Area

2.4 Design Contours

Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).

Denotes retaining wall

1.0 Denotes depth of fill

Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 210 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300

Revision A - Original Issue 19/04/2024 (DJL).



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Title: **Disclosure Plan for Lot 210 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

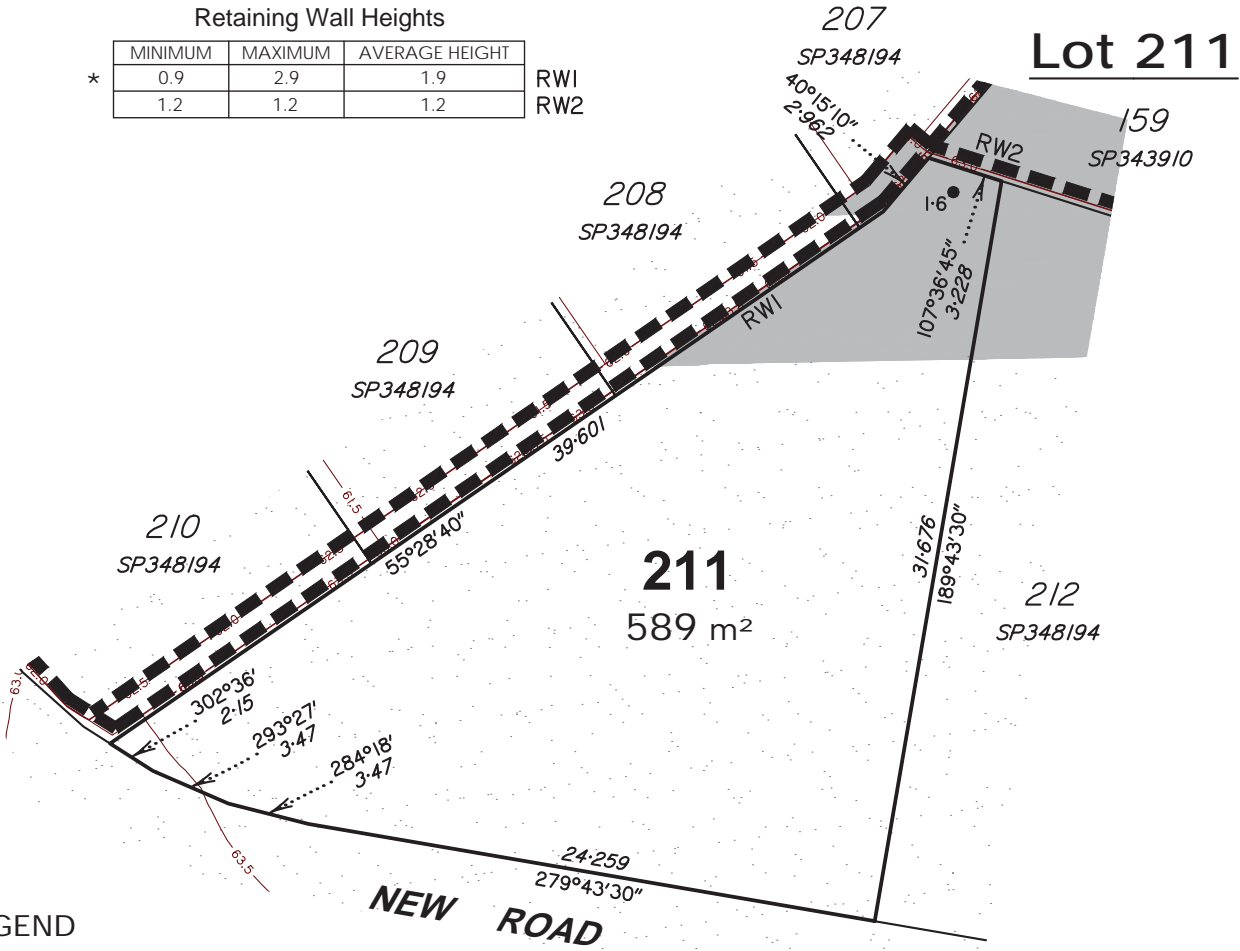
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client: **HB AUSTRALIA PTY LTD**
Locality: **UPPER COOMERA**
Local Gov: **GCCC** Prepared By: **DJL**
Surveyed By: **JS** Approved: **SWM**
Date Created: **19/04/2024** Scale: **1:300**
Comp File: **171101.project**
Plan No: **171101_035_DIS**

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.9	2.9	1.9
1.2	1.2	1.2

RW1
RW2



LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- * Denotes two tier retaining wall

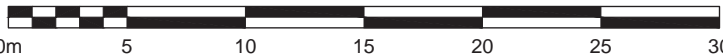
Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 211 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

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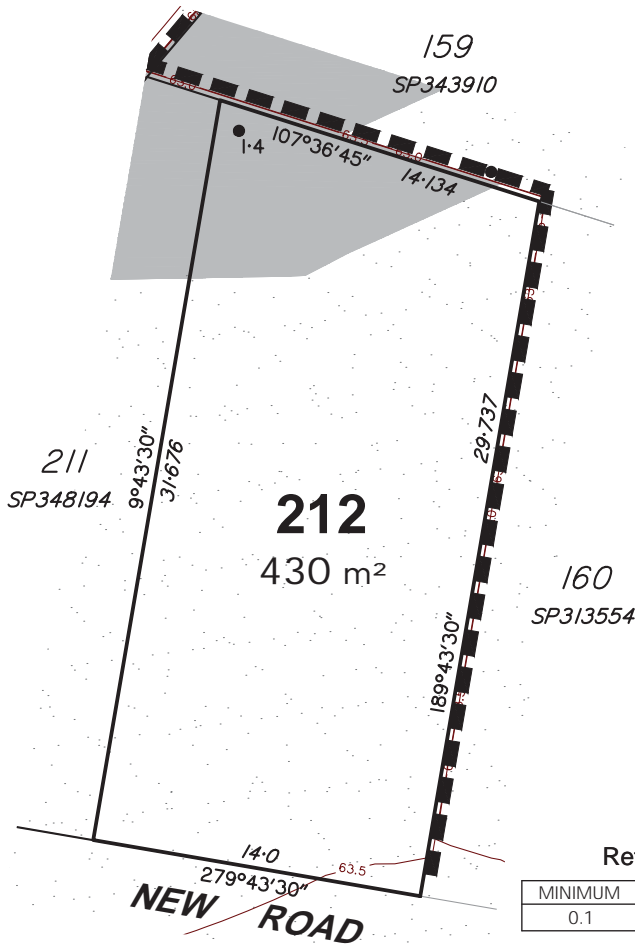
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Title: **Disclosure Plan for Lot 211 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

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Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
Date Created:	19/04/2024	Scale: 1:300
Comp File:	171101.project	
Plan No:	171101_035_DIS	



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.1	1.2	0.65

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Contours (Interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-03-000 to 41901-03-710 provided by Mortons Urban Solutions. (OPW/2023/1350-26/03/2024).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

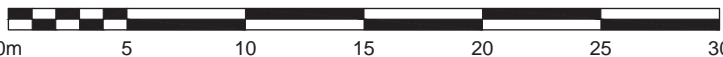
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4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 212 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300



Revision A - Original Issue 19/04/2024 (DJL).

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Title: **Disclosure Plan for Lot 212 on SP348194**
Cancelling Lot 902 on SP343910
Courtney Drive, Upper Coomera
(Stage 3)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared By: DJL
Surveyed By:	JS	Approved: SWM
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Comp File:	171101.project	
Plan No:	171101_035_DIS	