

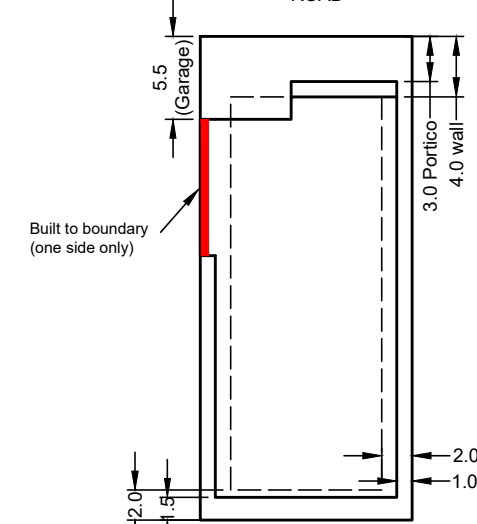
PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

- Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
- An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
- Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
- Secondary frontage being the frontage with the longer dimension
- No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
- Lots 111-118 are subject to split level earthworks pads and split level building product.
- Built to boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.

BUILDING ENVELOPE DIAGRAM

Scale 1:500



LEGEND

- Built to Boundary Wall
- ▲ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▒ Secondary frontage - No direct vehicle access
- Courtyard Lots (less than 600m²)
- Traditional Lots (600m² and greater)

Scale 1:2500



Lot 121 is excluded from this Plan of development

- NOTES:**
- Drawn to scale on an A3 sheet.
 - All dimensions and areas are subject to final survey and approval by G.C.C.C.
 - Dimensions shown are to the nearest decimeter.

Issue	Revision	Int	Date
G	Lots 111-118 setback details added-Lot 121 excluded	HK	16/05/2024
F	Layout Updated	HK	19/07/2023
E	No access lines updated	HK	03/11/2022
D	Updating BTB wall locations	HK	21/09/2022
C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title:
Plan of Development Overall

Courtney Drive, Upper Coomera (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: UPPER COOMERA
Local Gov: GCCC Prepared By: DR
Surveyed By: Approved: DR
Date Created: 16/11/2020 Scale: 1:2500

Comp File:

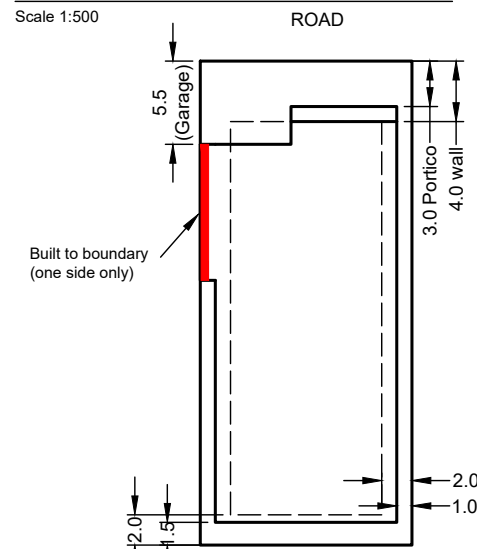
Plan No: **171101_023_PRO**

PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary) (See alternative side boundary setbacks for lots 111-118)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

- Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
- An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
- Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
- Secondary frontage being the frontage with the longer dimension
- No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
- Lots 111-118 are subject to split level earthworks pads and split level building product.
- Built to boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
- Siting variations for setbacks do not apply to Lot 121.

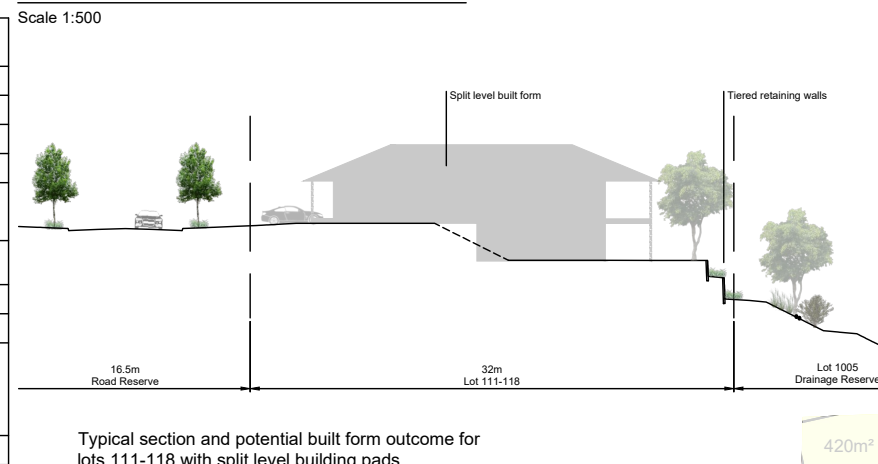
BUILDING ENVELOPE DIAGRAM



LEGEND

- Built to Boundary Wall
- ▼ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▒ Secondary frontage - No direct vehicle access
- ▒ Courtyard Lots (less than 600m²)
- ▒ Traditional Lots (600m² and greater)

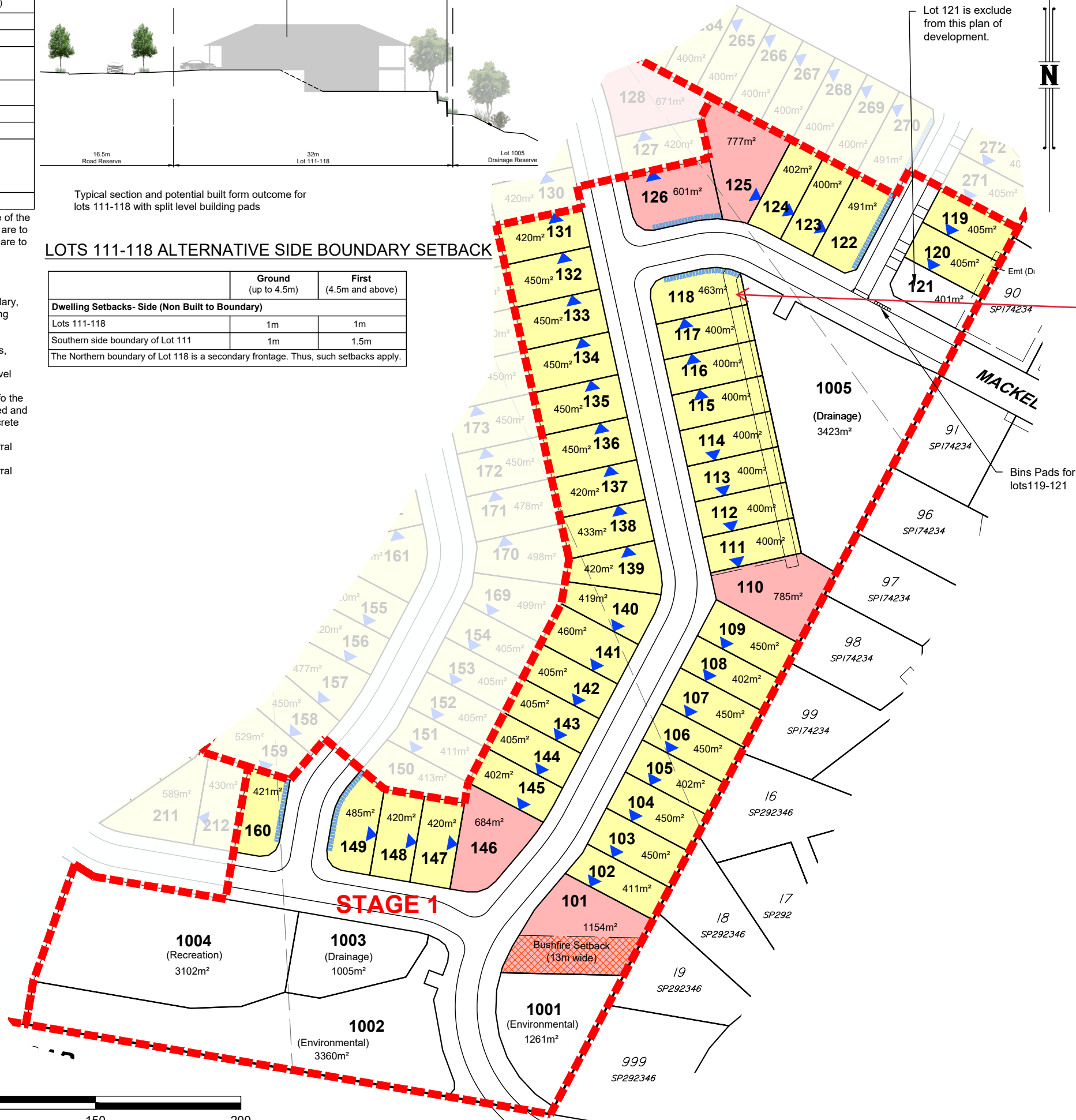
LOTS 111-118 TYPICAL SECTION



LOTS 111-118 ALTERNATIVE SIDE BOUNDARY SETBACK

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks- Side (Non Built to Boundary)		
Lots 111-118	1m	1m
Southern side boundary of Lot 111	1m	1.5m

The Northern boundary of Lot 118 is a secondary frontage. Thus, such setbacks apply.



Northern boundary of Lot 118 is a secondary frontage. 2m setback applies.

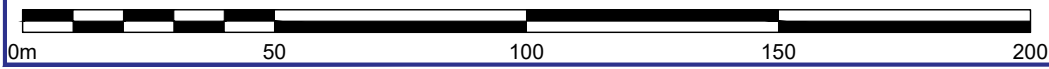
NOTES:

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Issue	Revision	Int	Date
G	Lots 111-118 setback details added-Lot 121 excluded	HK	16/05/2024
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C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title:
Plan of Development Stage 1
 Courtney Drive, Upper Coomera (Described as Lots 188-192 on RP173728)

Client:	GALLERY HOMES
Locality:	UPPER COOMERA
Local Gov:	GCCC
Prepared By:	DR
Surveyed By:	Approved: DR
Date Created:	16/11/2020
Scale:	1:1500
Comp File:	
Plan No:	171101_023_PRO



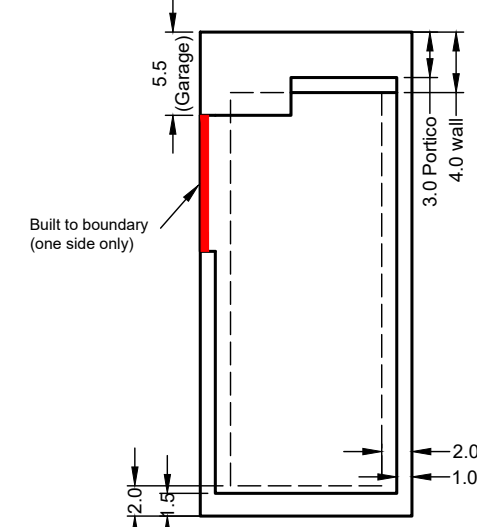
PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

1. Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
2. An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
3. Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
4. Secondary frontage being the frontage with the longer dimension
5. No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
6. Lots 111-118 are subject to split level earthworks pads and split level building product.
7. Built to boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
8. Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
9. Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.

BUILDING ENVELOPE DIAGRAM

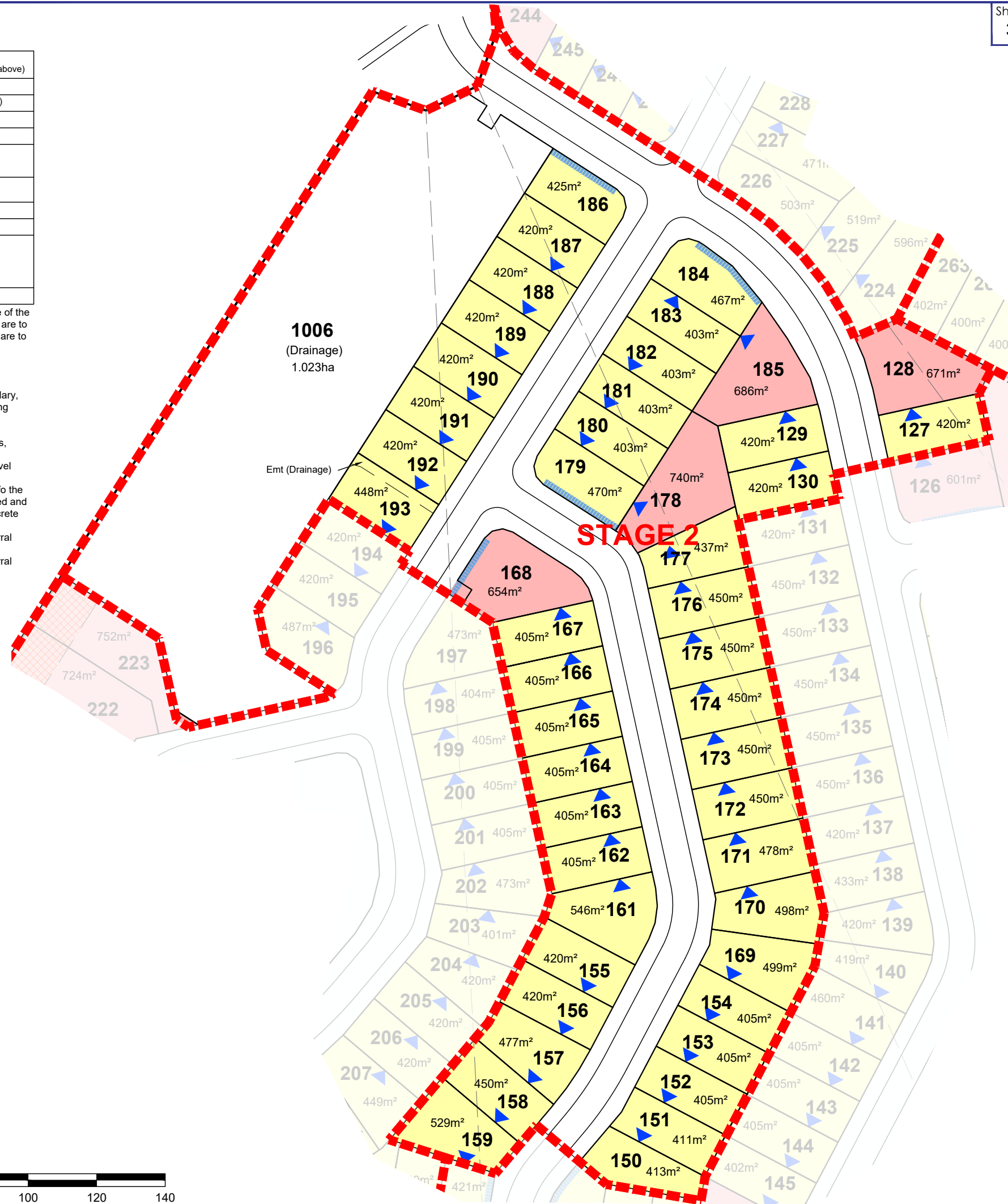
Scale 1:500



LEGEND

- Built to Boundary Wall
- ▼ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▬▬▬ Secondary frontage - No direct vehicle access
- ▭ Courtyard Lots (less than 600m²)
- ▭ Traditional Lots (600m² and greater)

Scale 1:1250



- NOTES:**
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 2. All dimensions and areas are subject to final survey and approval by G.C.C.C.
 3. Dimensions shown are to the nearest decimeter.

Issue	Revision	Int	Date
G	Lots 111-118 setback details added-Lot 121 excluded	HK	16/05/2024
F	Layout Updated	HK	19/07/2023
E	No access lines updated	HK	03/11/2022
D	Updating BTB wall locations	HK	21/09/2022
C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title:
Plan of Development Stage 2

Courtyard Drive, Upper Coomera (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: UPPER COOMERA
Local Gov: GCCC Prepared By: DR
Surveyed By: Approved: DR
Date Created: 16/11/2020 Scale: 1:1250

Comp File:

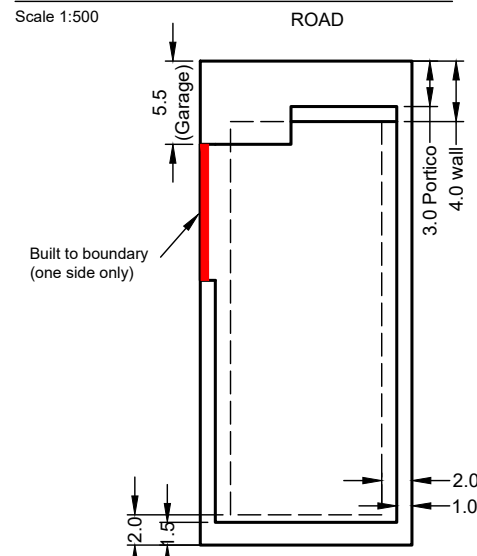
Plan No: **171101_023_PRO**

PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

1. Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
2. An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
3. Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
4. Secondary frontage being the frontage with the longer dimension
5. No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
6. Lots 111-118 are subject to split level earthworks pads and split level building product.
7. Built to boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
8. Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
9. Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.

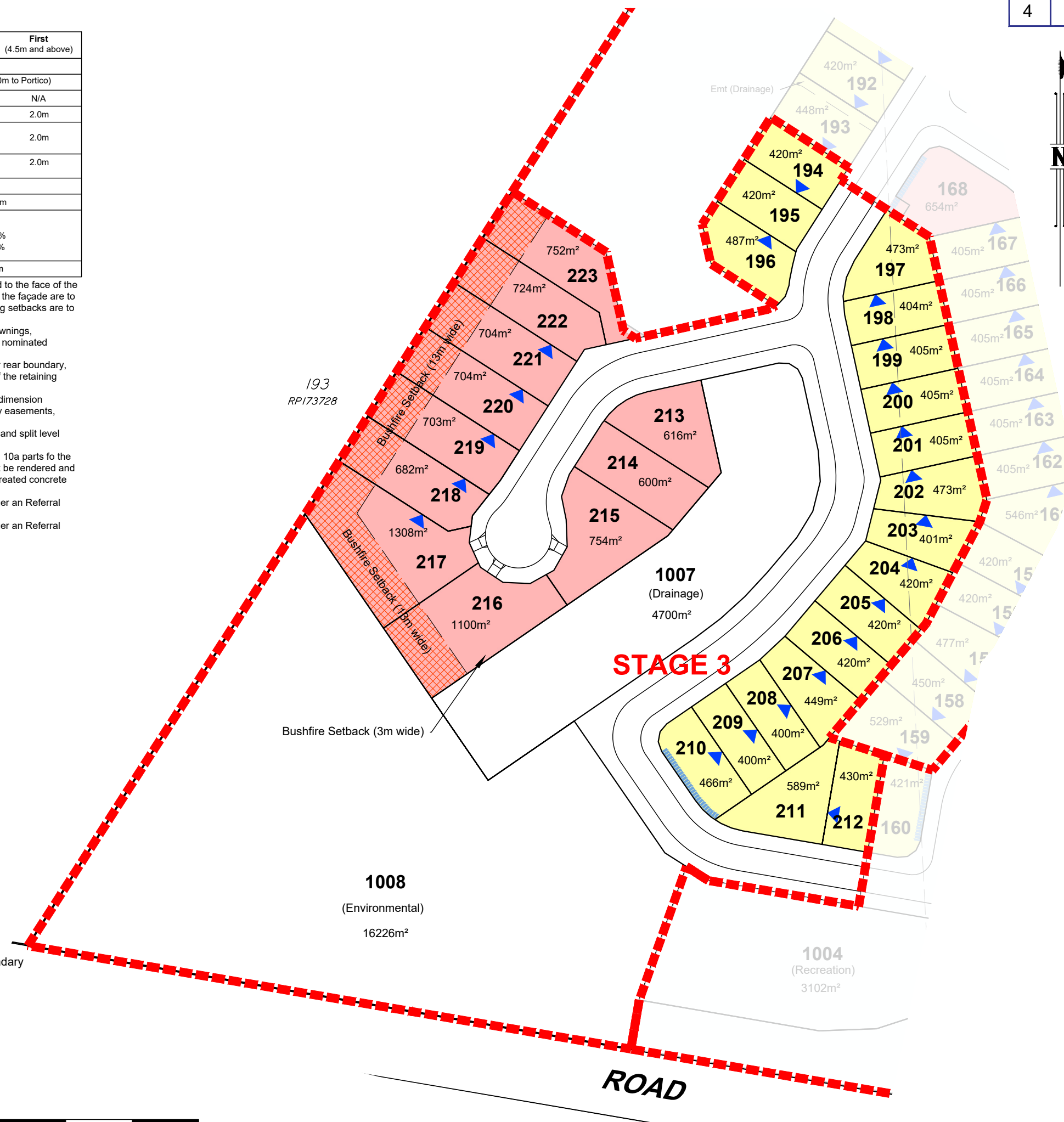
BUILDING ENVELOPE DIAGRAM



LEGEND

- Built to Boundary Wall
- ▼ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▒ Secondary frontage - No direct vehicle access
- ▒ Courtyard Lots (less than 600m²)
- ▒ Traditional Lots (600m² and greater)

Scale 1:1250



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 2. All dimensions and areas are subject to final survey and approval by G.C.C.C.
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G	Lots 111-118 setback details added-Lot 121 excluded	HK	16/05/2024
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E	No access lines updated	HK	03/11/2022
D	Updating BTB wall locations	HK	21/09/2022
C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title:
Plan of Development Stage 3
 Courtney Drive, Upper Coomera
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: UPPER COOMERA
 Local Gov: GCCC Prepared By: DR
 Surveyed By: Approved: DR
 Date Created: 16/11/2020 Scale: 1:1250
 Comp File:

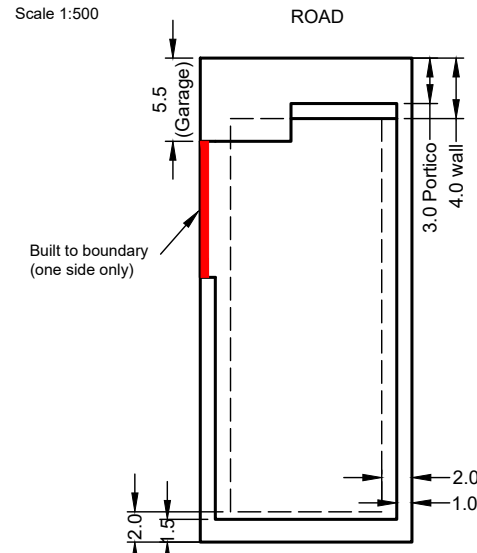
Plan No: **171101_023_PRO**

PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

1. Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
2. An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
3. Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
4. Secondary frontage being the frontage with the longer dimension
5. No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
6. Lots 111-118 are subject to split level earthworks pads and split level building product.
7. Built to boundary walls must be for non-habitable Class 10a parts to the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
8. Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.
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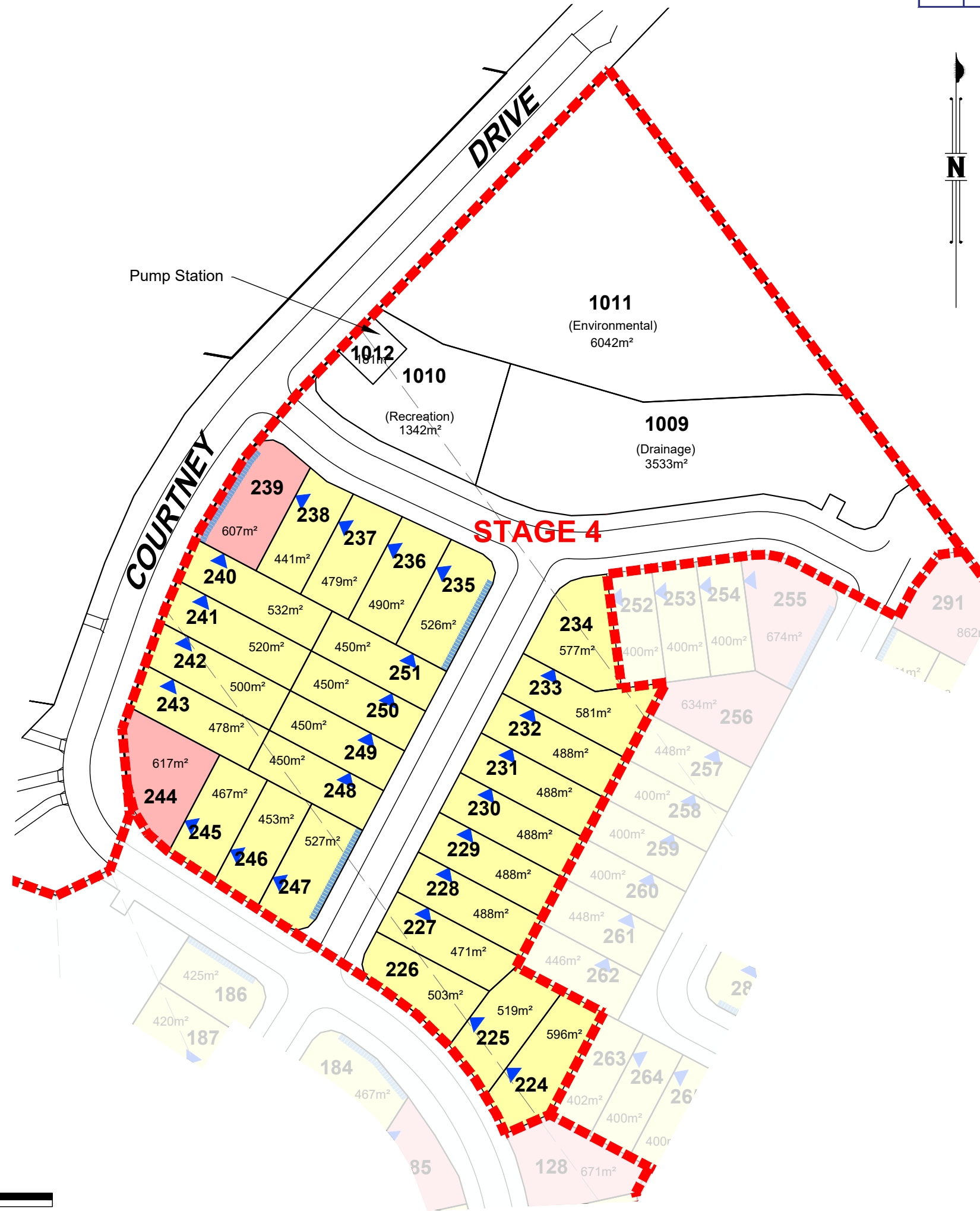
BUILDING ENVELOPE DIAGRAM



LEGEND

- Built to Boundary Wall
- ▼ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▒▒▒▒ Secondary frontage - No direct vehicle access
- ▒▒▒▒ Courtyard Lots (less than 600m²)
- ▒▒▒▒ Traditional Lots (600m² and greater)

Scale 1:1250



NOTES:

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E	No access lines updated	HK	03/11/2022
D	Updating BTB wall locations	HK	21/09/2022
C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020
Issue	Revision	Int	Date

Title:

Plan of Development Stage 4

Courtney Drive, Upper Coomera (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DR**

Surveyed By: **DR** Approved: **DR**

Date Created: **16/11/2020** Scale: **1:1250**

Comp File:

Plan No: **171101_023_PRO**

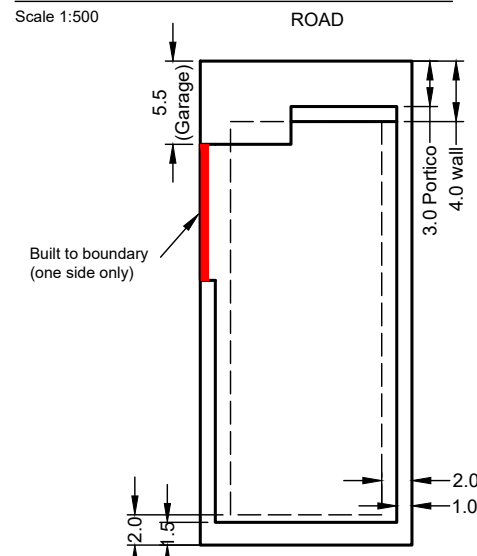
PLAN OF DEVELOPMENT

	Ground (up to 4.5m)	First (4.5m and above)
Dwelling Setbacks		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
Corner Allotment Setbacks		
Secondary Frontage	2.0m	
Site Coverage (Maximum)		
Courtyard Lots (less than 600m ²)	55%	
Traditional Lots (600m ² and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

- Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
- An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
- Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
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BUILDING ENVELOPE DIAGRAM

Scale 1:500



LEGEND

- Built to Boundary Wall
- ▼ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▬▬▬ Secondary frontage - No direct vehicle access
- ▭ Courtyard Lots (less than 600m²)
- ▭ Traditional Lots (600m² and greater)

Scale 1:1250



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C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020
Issue	Revision	Int	Date

Title:

Plan of Development Stage 5

Courtney Drive, Upper Coomera (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	DR
Surveyed By:		Approved:	DR
Date Created:	16/11/2020	Scale:	1:1250
Comp File:			
Plan No:	171101_023_PRO		