

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 127 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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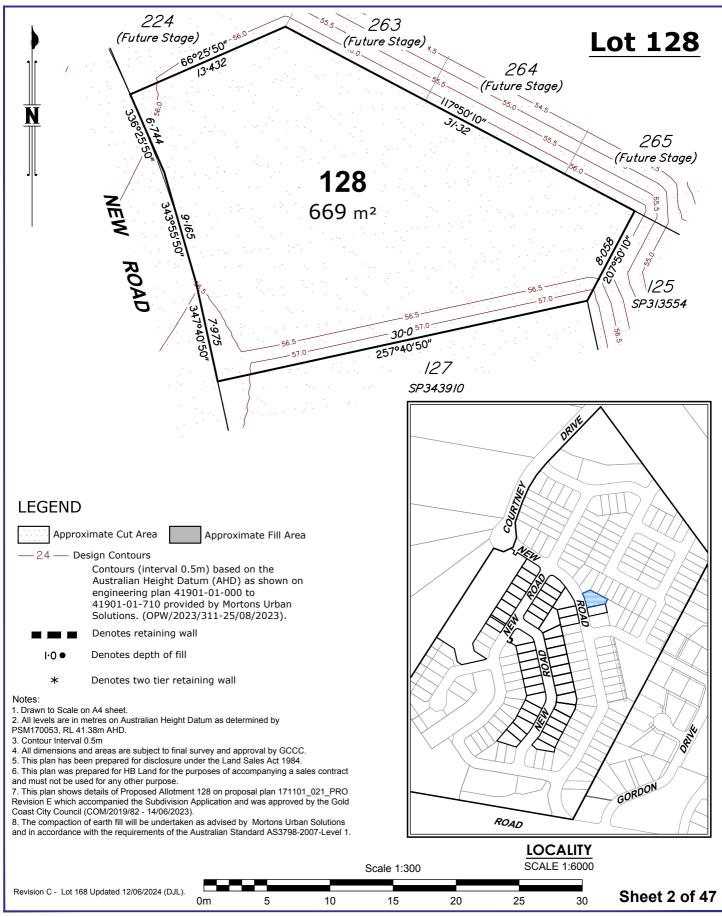
Disclosure Plan for Lot 127 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COO	MERA	
Cilent.	PTY LTD	ALIA	
Client:	HB AUSTRALIA		





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Disclosure Plan for Lot 128 on SP343910

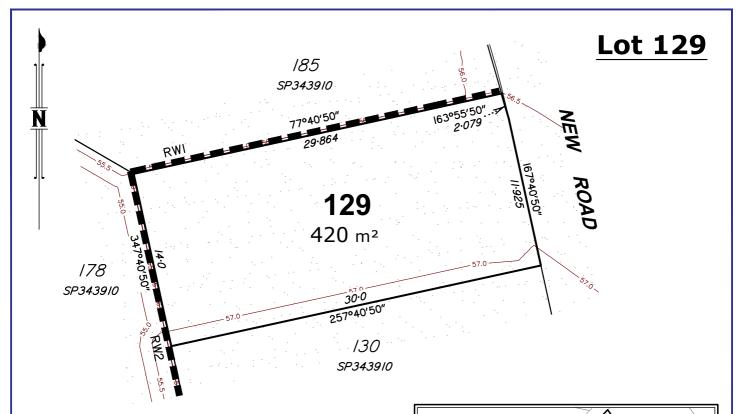
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. PL Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to .5.m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWN
Local Gov:	GCCC	Prepared By:	SCC
Locality:	UPPER COO	MERA	
	PTY LTD		
Client:	HB AUSTR	ALIA	

A4



Γ	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
Γ	1.3	1.3	1.3	RWI
Ī	2.0	2.0	2.0	RW2

Note: Retaining walls are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

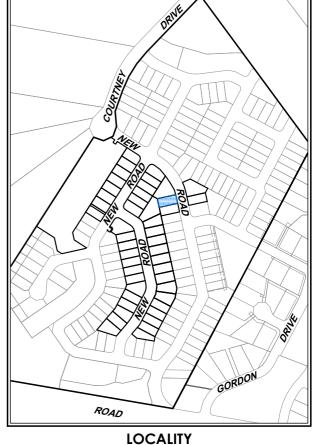
Denotes retaining wall

I•0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 129 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.





Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 129 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

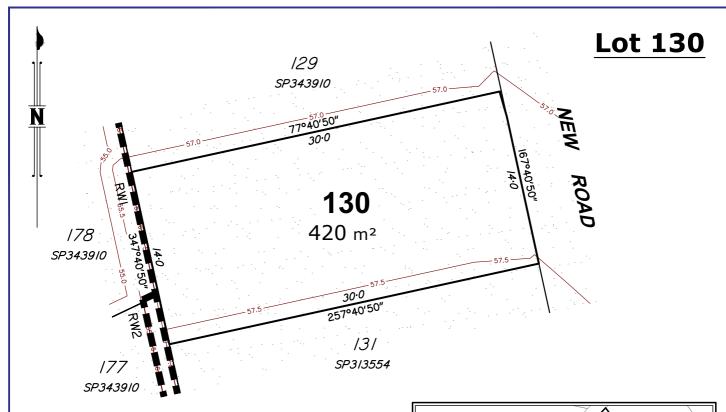
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pbt Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

Client:	HB AUSTRALIA PTY LTD	
Locality:	UPPER COOMERA	

SCALE 1:6000

Plan No:	171101 033 DIS		
Comp File:	171101.project		
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COOMERA		

Sheet 3 of 47



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	2.5	2.5	2.5	RWI
*	0.6	2.1	1.35	RW2
Note: Retaining walls are located in adjoining lots.				

LEGEND

Approximate Cut Area Approximate Fill Area

Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

Denotes depth of fill 1.0 €

* Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 130 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



SCALE 1:6000



Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 130 on SP343910

10

Title:

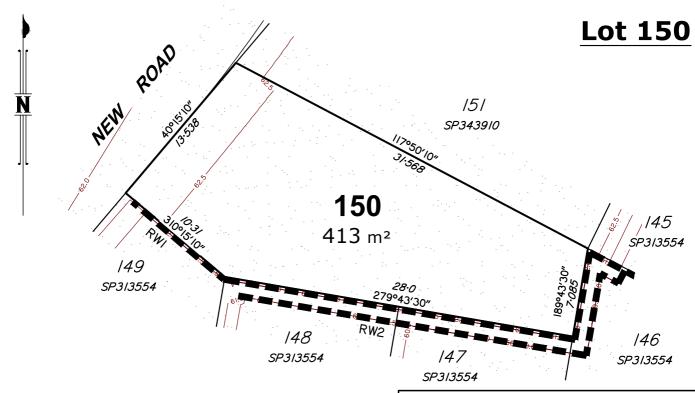
Scale 1:300

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Client:	HB AUSTR	ALIA	
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	

Sheet 4 of 47



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.5	1.5	1.5	RWI
*	1.0	2.8	1.9	RW2

Note: Retaining walls are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

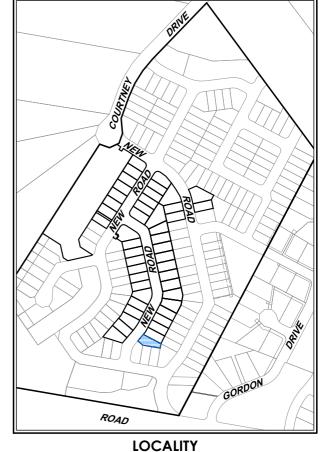
Denotes retaining wall

I·O ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 150 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



SCALE 1:6000



Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 150 on SP343910

10

Title:

Scale 1:300

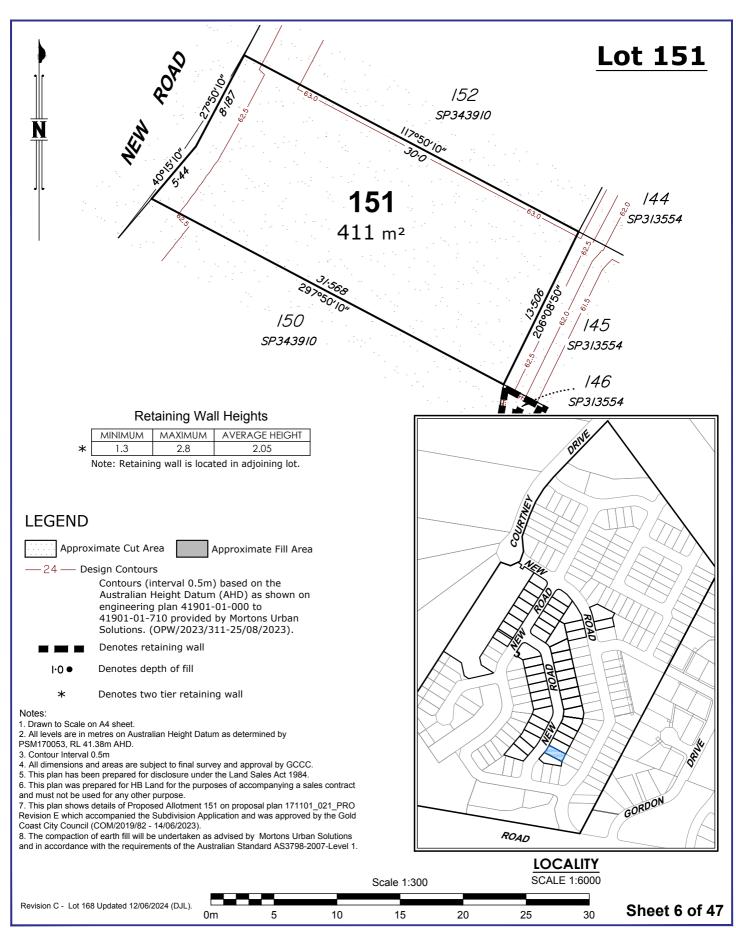
Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Plt Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

Prepared By: Approved: Scale:	SCO SWM 1:300
Approved:	SWM
Prepared By:	sco
ERA	
-IA	
	.IA ERA

A4

Sheet 5 of 47





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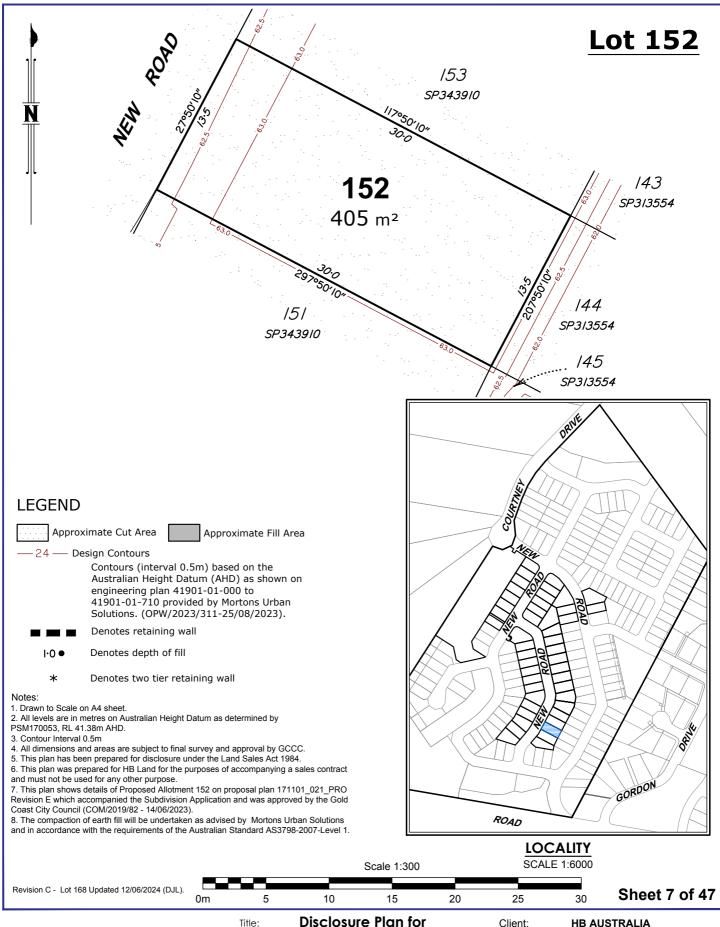
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Disclosure Plan for Lot 151 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCC
Locality:	UPPER COO	MERA	
	PTY LTD		
Client:	HB AUSTR	ALIA	





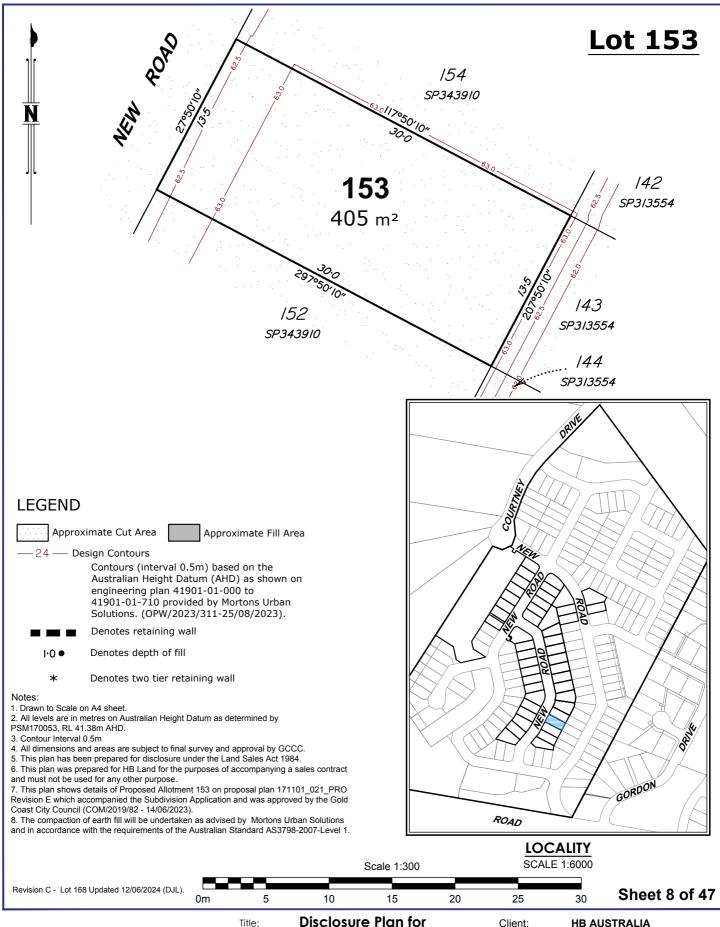
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Disclosure Plan for Lot 152 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	





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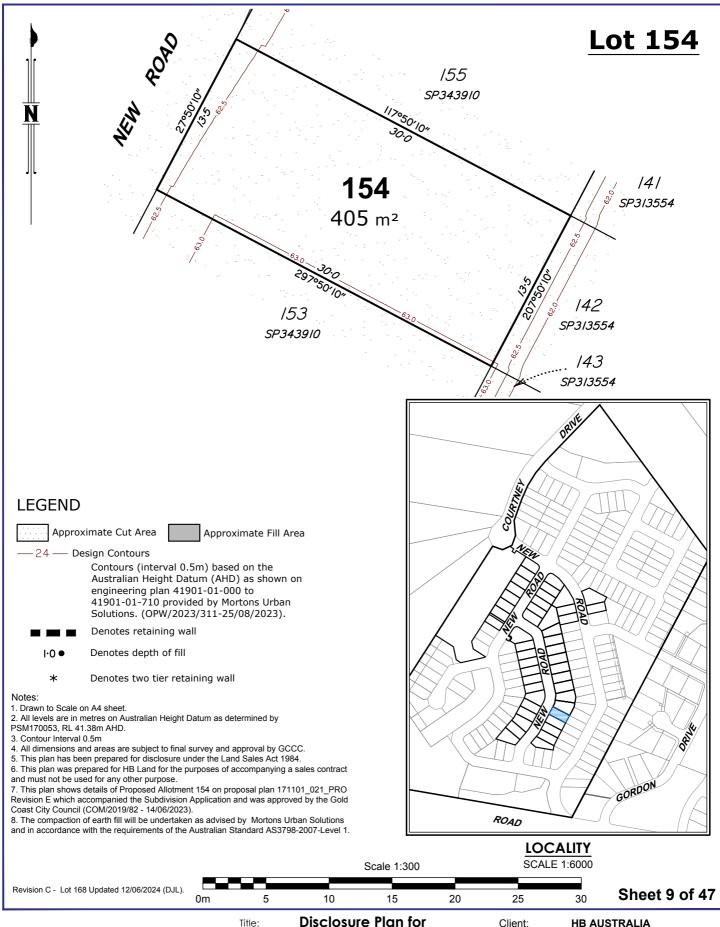
Disclosure Plan for Lot 153 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Plan No:	171101_033_DIS		
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCC
Locality:	UPPER COO	MERA	
Cilent.	PTY LTD	ALIA	

A4





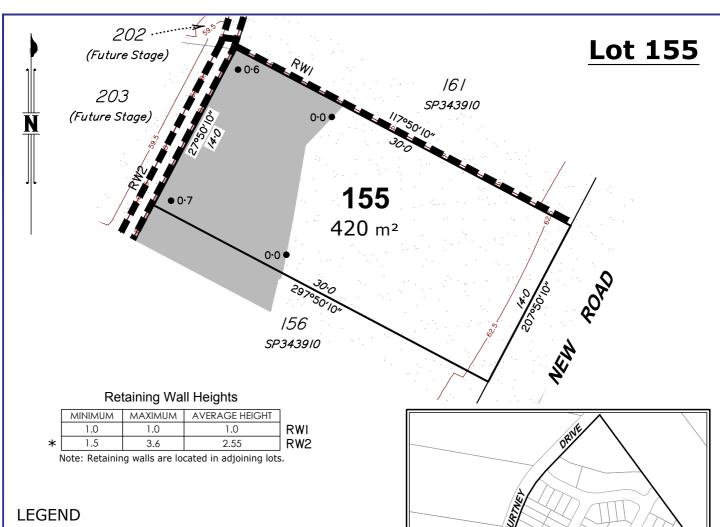
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Disclosure Plan for Lot 154 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	



Approximate Cut Area

Approximate Fill Area

—24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

I•0 ● Denotes depth of fill

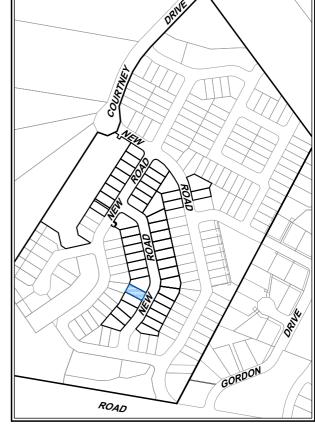
* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 155 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

0m

Title:



Scale 1:300 Scale 1:6000

15 20 25 30 Sheet 10 of 47

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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 155 on SP343910

10

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Client:	HB AUSTRALIA	
	PTY LTD	
Locality:	UPPER CC	OMERA
Local Gov:	GCCC	Prepared By
Surveyed By:	SE.	Approved:

 Local Gov:
 GCCC
 Prepared By:

 Surveyed By:
 SF
 Approved:

 Date Created:
 16/09/2023
 Scale:

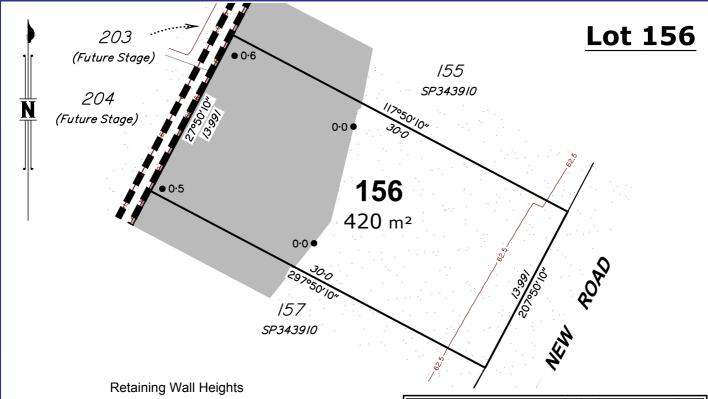
 Comp File:
 171101.project

 Plan No:
 171101_033_DIS

SCO

SWM

1:300



	MINIMUM	MAXIMUM	AVERAGE HEIGHT
*	1.5	3.5	2.5

Note: Retaining wall is located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

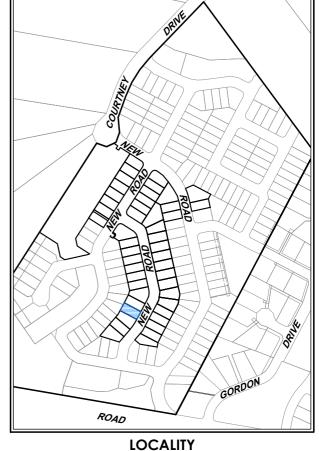
Denotes retaining wall

Denotes depth of fill 1.0 €

* Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
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- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 156 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



SCALE 1:6000



Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 156 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

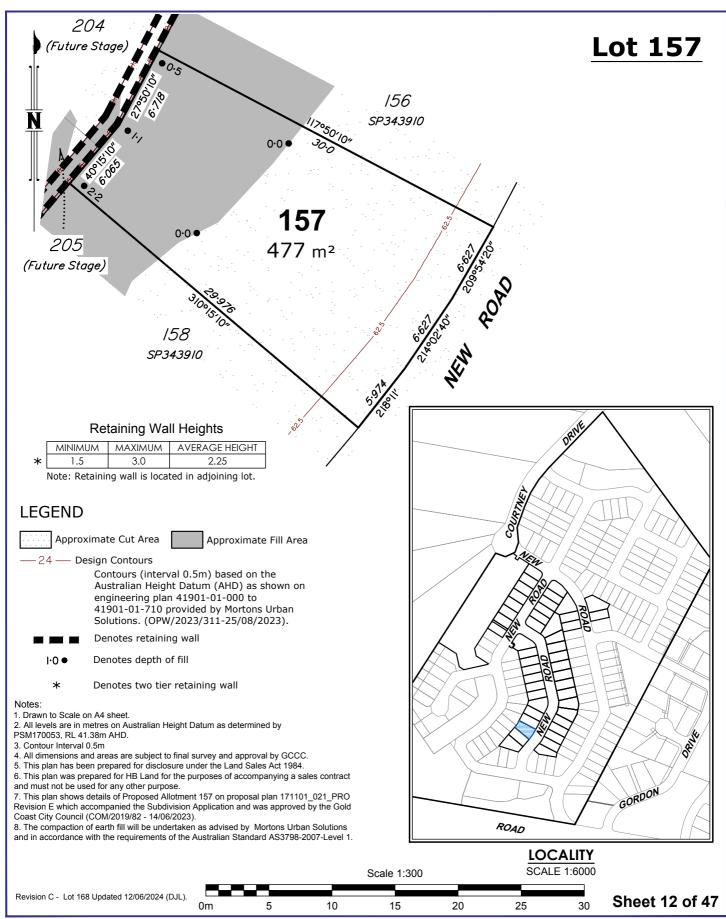
Scale 1:300

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Client:	HB AUSTRALIA	
	PTY LTD	
Locality:	UPPER COO	MERA
Local Gov:	GCCC	Prepared By:
Surveyed By:	SF	Approved:
Date Created:	16/09/2023	Scale:

SCO SWM 1:300 Comp File: 171101.project 171101_033_DIS Plan No:

Sheet 11 of 47



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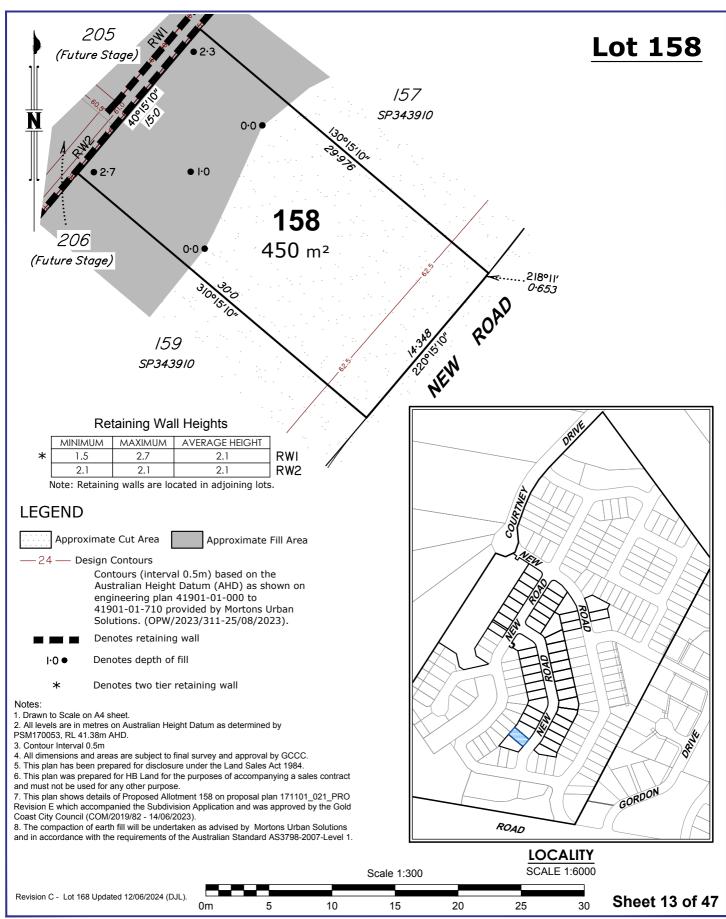
www.bennettandbennett.com.au

Disclosure Plan for Lot 157 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_033_DIS		



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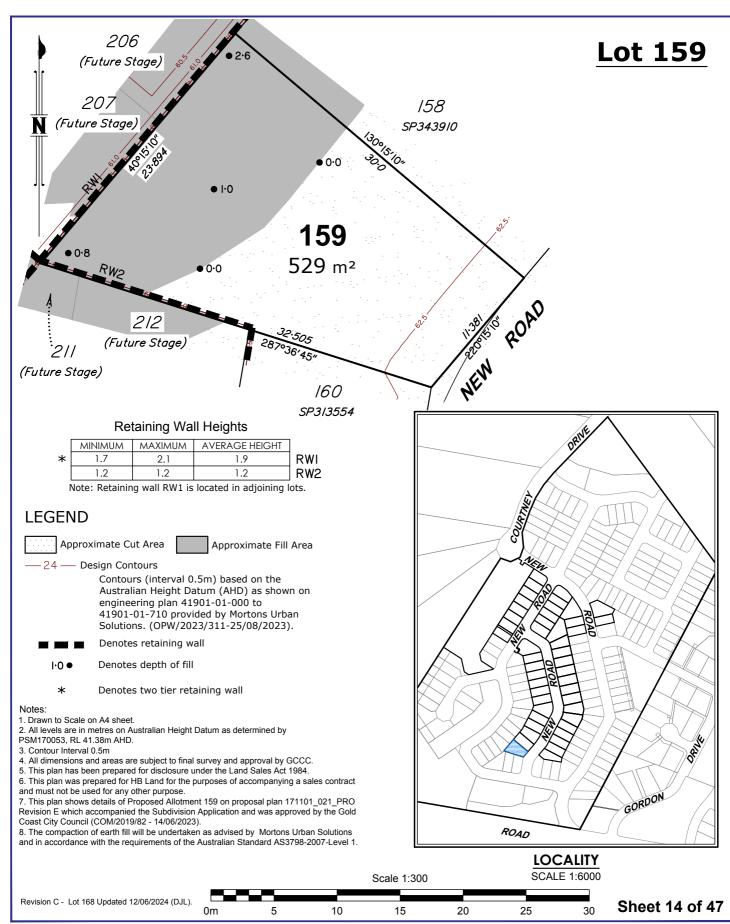
www.bennettandbennett.com.au

Disclosure Plan for Lot 158 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_033_DIS		



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Disclosure Plan for Lot 159 on SP343910

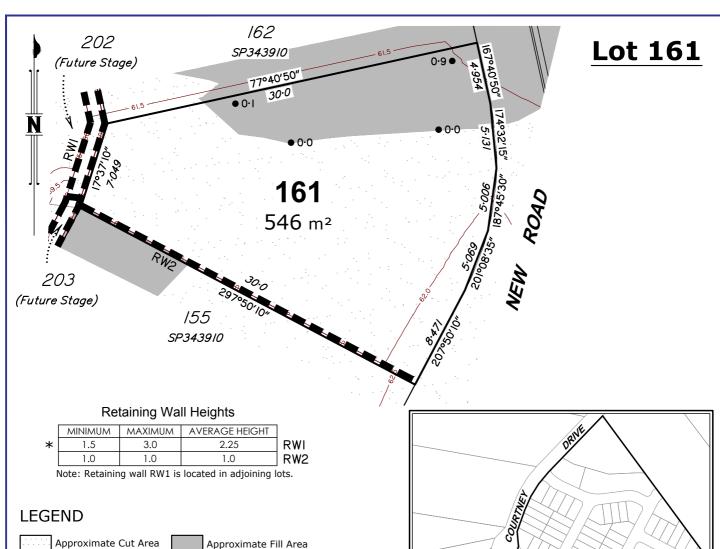
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	

OI: 1



Approximate Cut Area

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

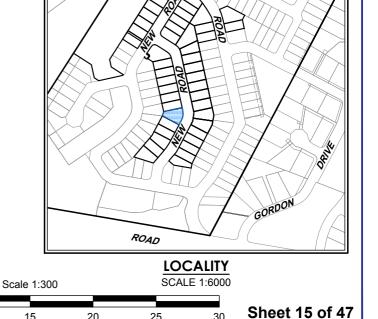
24 — Design Contours

Denotes depth of fill 1.0 €

Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 161 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.





Revision C - Lot 168 Updated 12/06/2024 (DJL).

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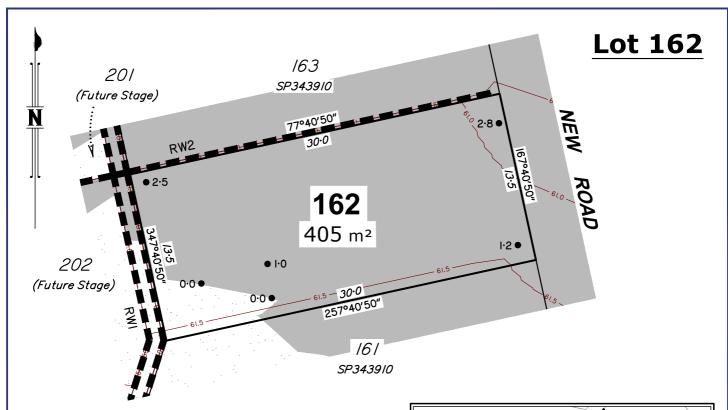
Disclosure Plan for Lot 161 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

171101_033_DIS		
171101.proje	ct	
16/09/2023	Scale:	1:300
SF	Approved:	SWM
GCCC	Prepared By:	SCO
UPPER COO	MERA	
PTY LTD	ALIA	
	PTY LTD UPPER COO GCCC SF 16/09/2023 171101.proje	UPPER COOMERA GCCC Prepared By: SF Approved: 16/09/2023 Scale: 171101.project



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	1.5	2.6	2.05	RWI
	1.0	1.0	1.0	RW2

Note: Retaining walls are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

—24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

I•0 ● Denotes depth of fill

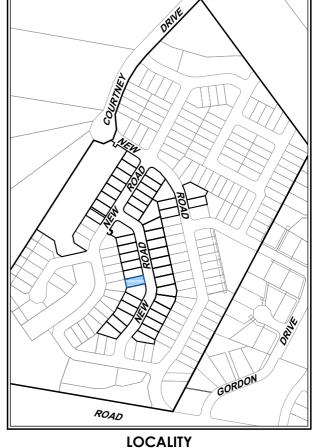
* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 162 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

0m

Title:



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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 162 on SP343910

10

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Plt Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

HB AUSTRALIA	
TY LTD	
PPER COOMERA	
CCC Prepa	red
	TY LTD PPER COOMERA CCC Prepar

SCALE 1:6000

 Local Gov:
 GCCC
 Prepared By:
 SCO

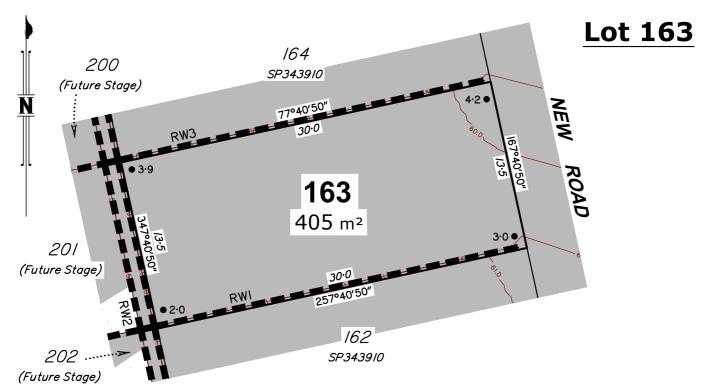
 Surveyed By:
 SF
 Approved:
 SWM

 Date Created:
 16/09/2023
 Scale:
 1:300

 Comp File:
 171101.project

 Plan No:
 171101_033_DIS

Sheet 16 of 47



		1 4 4 3 (1) 41 11 4	1) (ED 1 OF HEIOLIF	1
	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.0	1.0	1.0	RWI
*	1.5	2.5	2.0	RW2
	1.0	1.0	1.0	RW3

Note: Retaining walls RW2 & RW3 are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

Denotes depth of fill 1.0

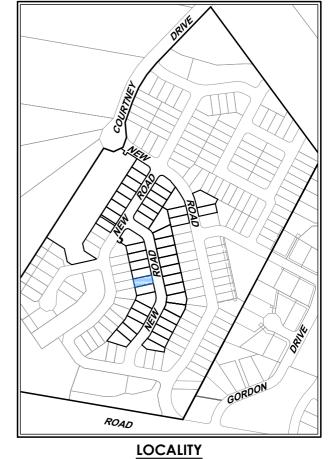
* Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 163 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

0m

Title:



SCALE 1:6000



Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 163 on SP343910

10

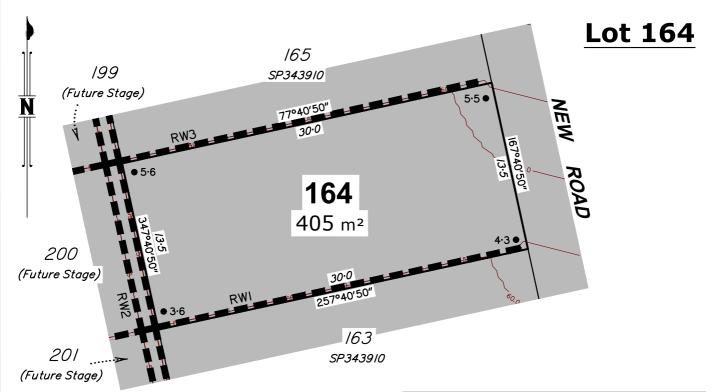
Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_033_DIS		

Sheet 17 of 47



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.0	1.0	1.0	RWI
*	1.5	2.7	2.1	RW2
	1.1	1.1	1.1	RW3

Note: Retaining walls RW2 & RW3 are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

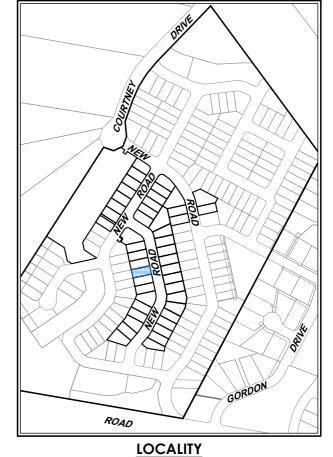
Denotes retaining wall

I•0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 164 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.





Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Title: Disclosure Plan for Lot 164 on \$P343910

10

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

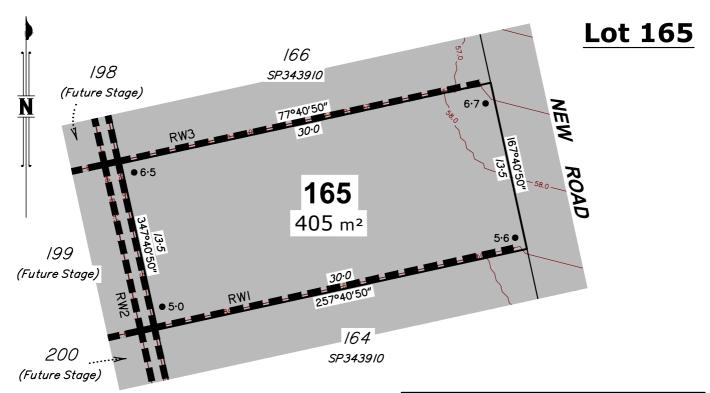
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. PL Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to .5.m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA
	PTY LTD

SCALE 1:6000

Plan No:	171101 033 DIS		
Comp File:	171101.project		
Date Created:	16/09/2023 Scale:		1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COOMERA		

Sheet 18 of 47



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.1	1.1	1.1	RWI
*	1.5	2.7	2.1	RW2
	1.5	1.5	1.5	RW3

Note: Retaining walls RW2 & RW3 are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

—24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

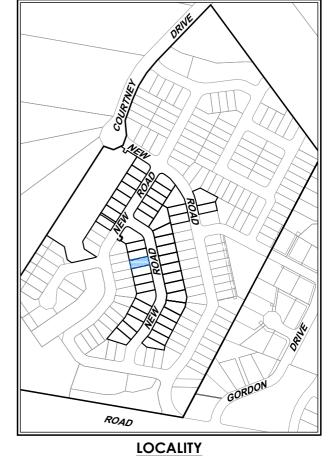
Denotes retaining wall

I•0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 165 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.





Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 165 on SP343910

10

Title:

Cancelling Lot 900 on \$P313554 Courtney Drive, Upper Coomera (\$tage 2)

Scale 1:300

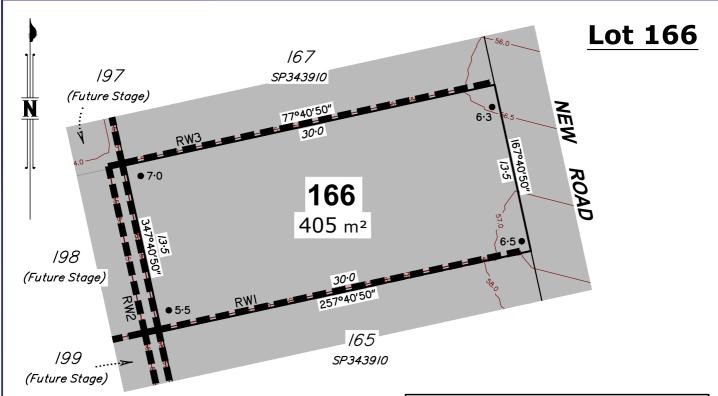
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. PL Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to .5.m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRALIA	
	PTY LTD	
Locality:	LIPPER COOMERA	

SCALE 1:6000

Plan No:	No: 171101 033 DIS		
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	ocal Gov: GCCC		SCO
Locality:	UPPER COOMERA		

Sheet 19 of 47



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.5	1.5	1.5	RWI
*	1.2	2.4	1.8	RW2
	1.1	1.1	1.1	RW3

Note: Retaining walls RW2 & RW3 are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

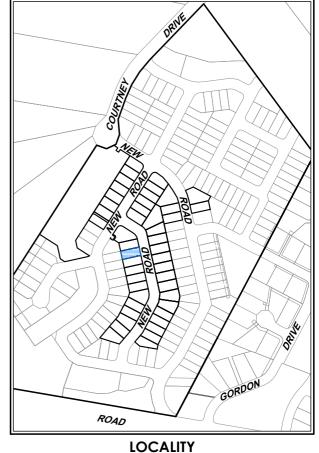
Denotes retaining wall

I•0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 166 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Scale 1:300 SCALE 1:6000

Om 5 10 15 20 25 30 Sheet 20 of 47

Title: Disclosure Plan for Client: HB AUSTRALIA

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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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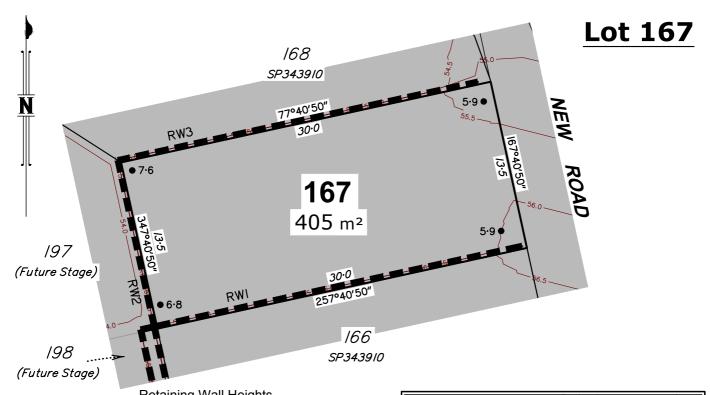
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Disclosure Plan for Lot 166 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA
	PTY LTD

Plan No:	171101 033 DIS		
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COOMERA		



MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.1	1.1	1.1	RWI
1.8	1.8	1.8	RW2
1.5	1.5	1.5	RW3

Note: Retaining walls RW2 & RW3 are located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

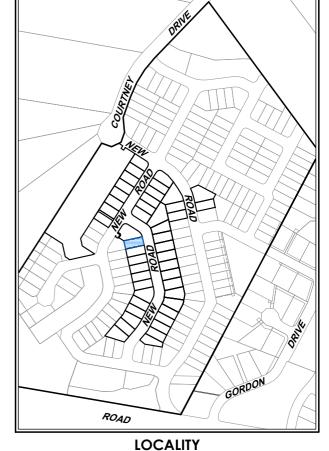
Denotes retaining wall

I·0 ● Denotes depth of fill

Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC.
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 167 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.





Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 167 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. PL Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to .5.m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

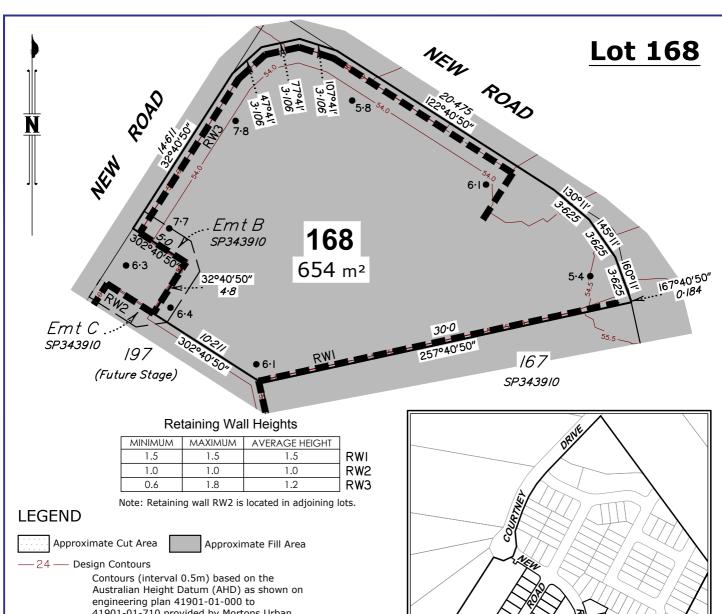
Client:	HB AUSTRALIA
	PTY LTD

SCALE 1:6000

Plan No:	No: 171101 033 DIS		
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	ocal Gov: GCCC		SCO
Locality:	UPPER COOMERA		

Sheet 21 of 47

44



41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

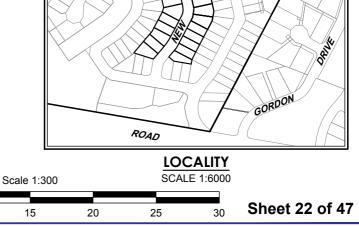
Denotes retaining wall

Denotes depth of fill 1.0

Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 168 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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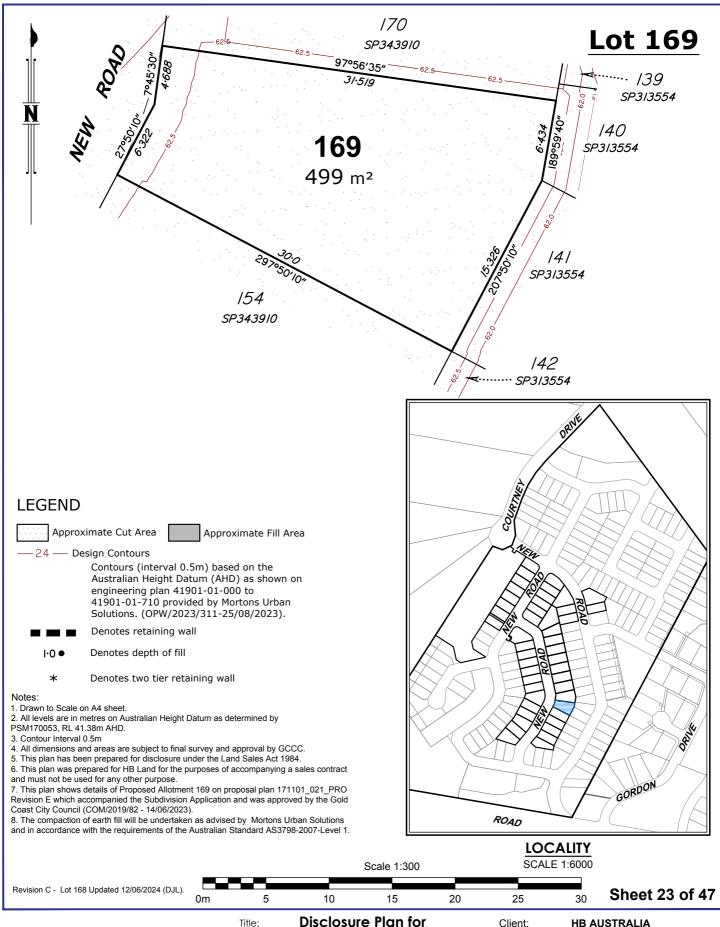
Disclosure Plan for Lot 168 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COO	MERA	
Oliciti.	PTY LTD	ALIA	
Client:	HB AUSTRALIA		





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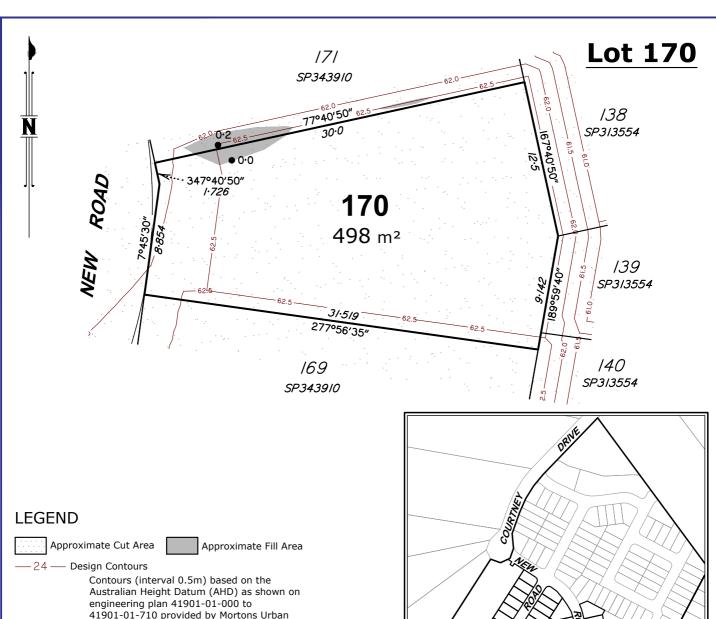
Disclosure Plan for Lot 169 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pt. Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 5.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRA	ALIA	
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	

44



41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

Denotes depth of fill 1.0 €

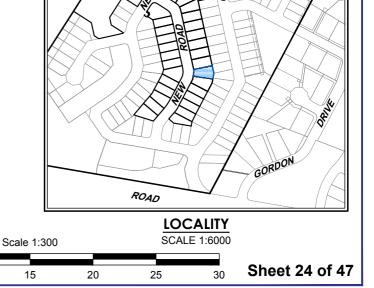
* Denotes two tier retaining wall

Notes:

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 170 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

0m

Title:



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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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Disclosure Plan for Lot 170 on SP343910

10

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

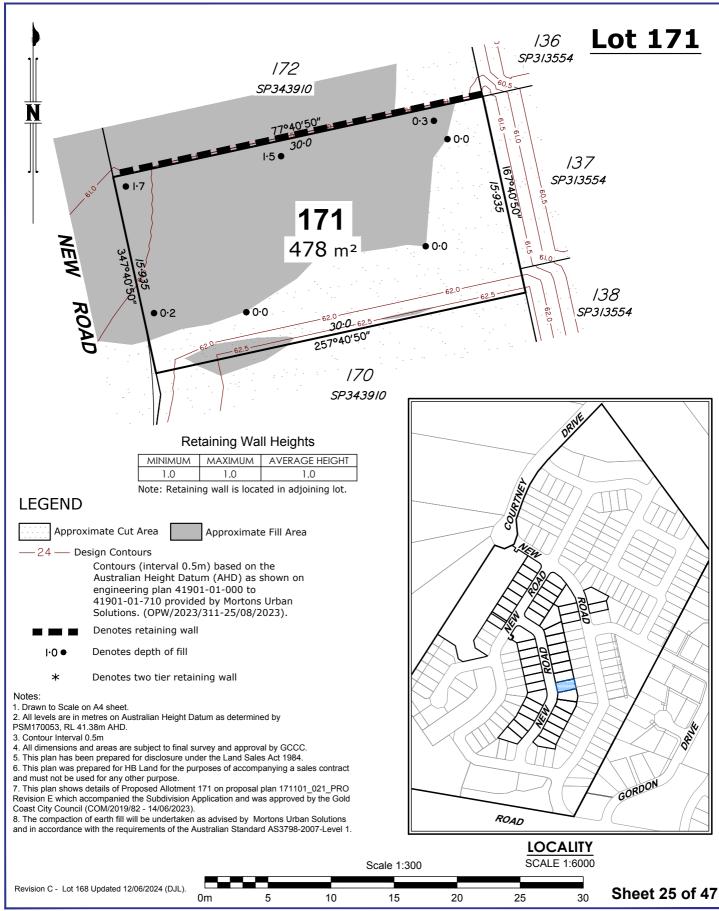
Client:	HB AUSTR	ALIA
	PTY LTD	
Locality:	UPPER COO	MERA
Local Gov:	GCCC	Prepared By:
Surveyed By:	SF	Approved:
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Date Created: 16/09/2023 Scale Comp File: 171101.project 171101_033_DIS Plan No:

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SWM

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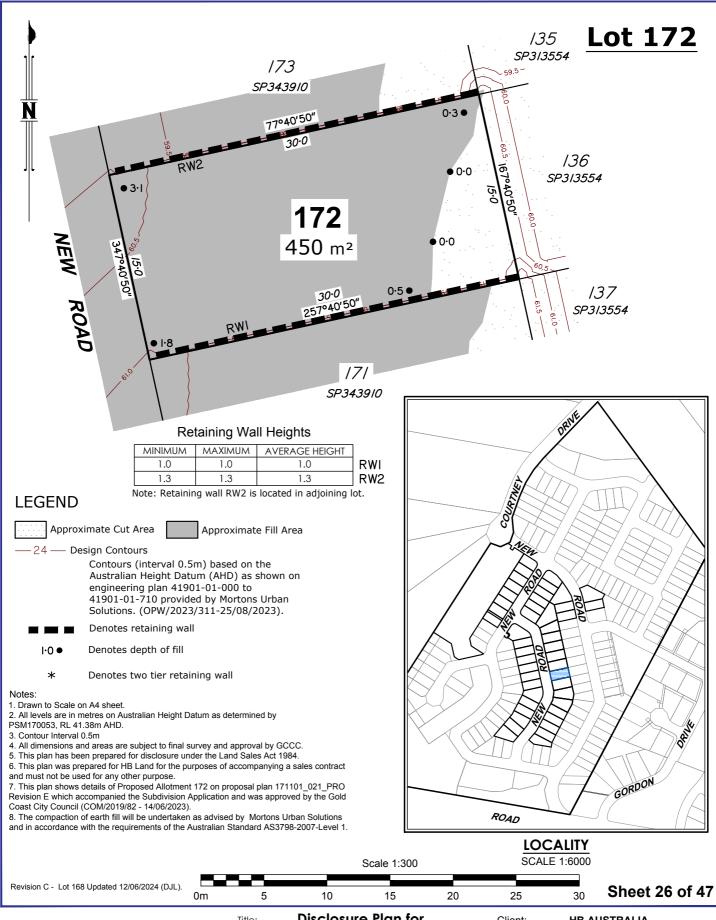
www.bennettandbennett.com.au

Disclosure Plan for Lot 171 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	





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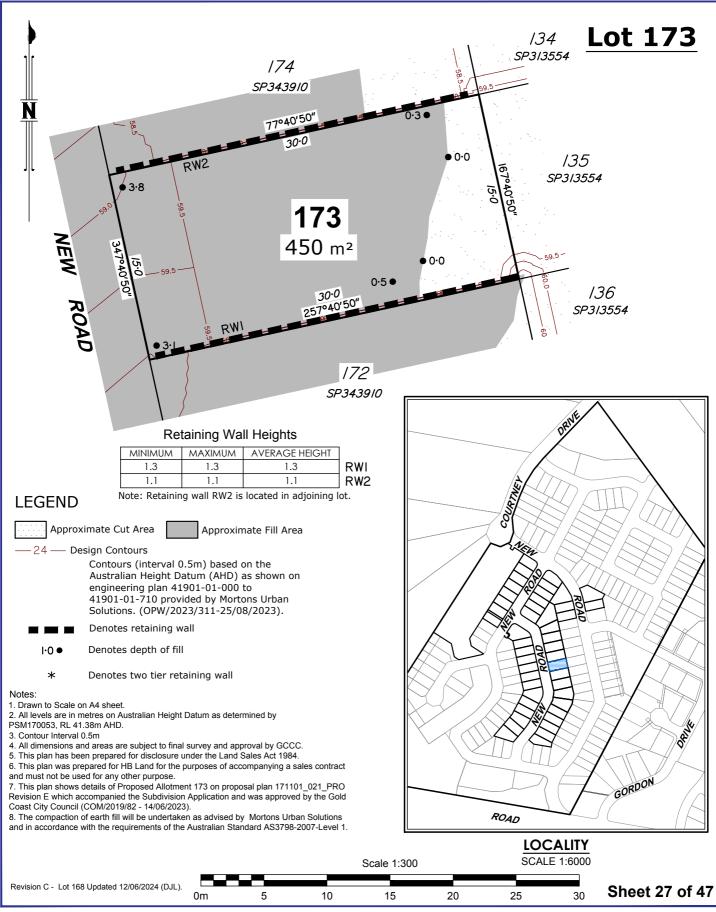
Disclosure Plan for Lot 172 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA	
	PTY LTD	
Locality:	UPPER COOMERA	
Local Gov:	GCCC	Prepared I
Currented Dur	C.E.	Approved

Plan No:	171101_033_DIS		
Comp File:	171101.project		
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality.	OI I LIX COO	MILIXA	





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Disclosure Plan for Lot 173 on SP343910

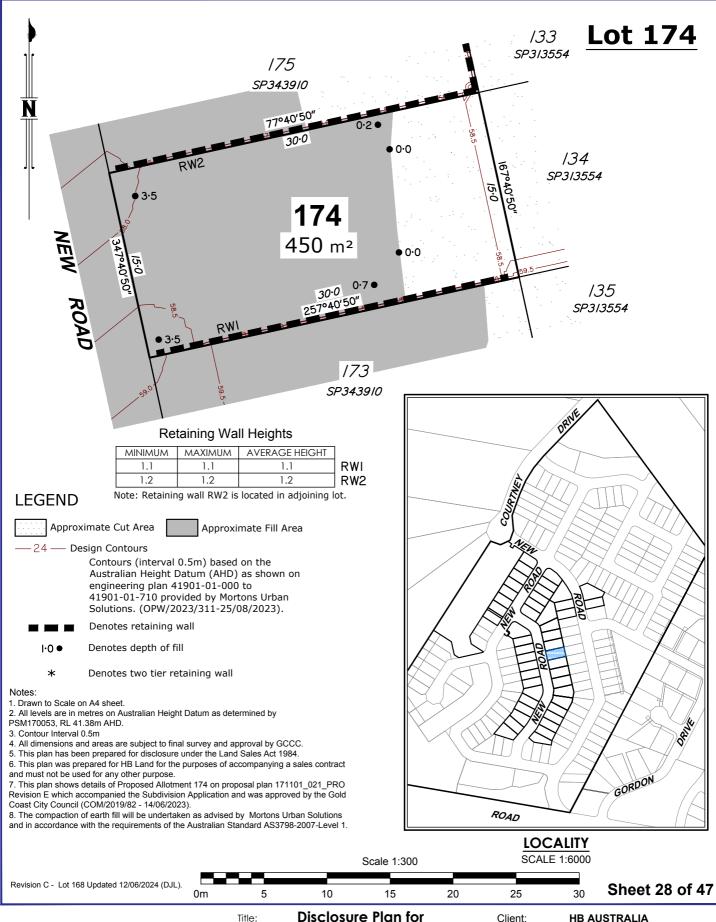
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. PL Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to .5.m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRA	ALIA	
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCC
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	

44





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Disclosure Plan for Lot 174 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Cilent.	ND AUSTRALIA	
	PTY LTD	
Locality:	UPPER COO	MERA
Local Gov:	GCCC	Prepared By
Surveyed By:	SF	Approved:

 Surveyed By:
 SF
 Approved:

 Date Created:
 16/09/2023
 Scale:

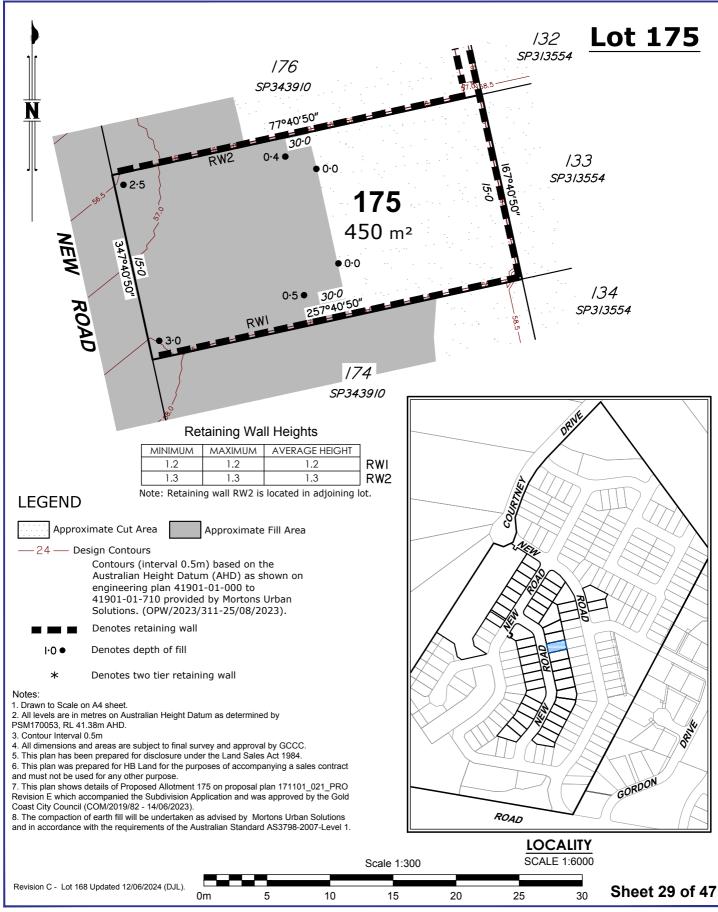
 Comp File:
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 Plan No:
 171101_033_DIS

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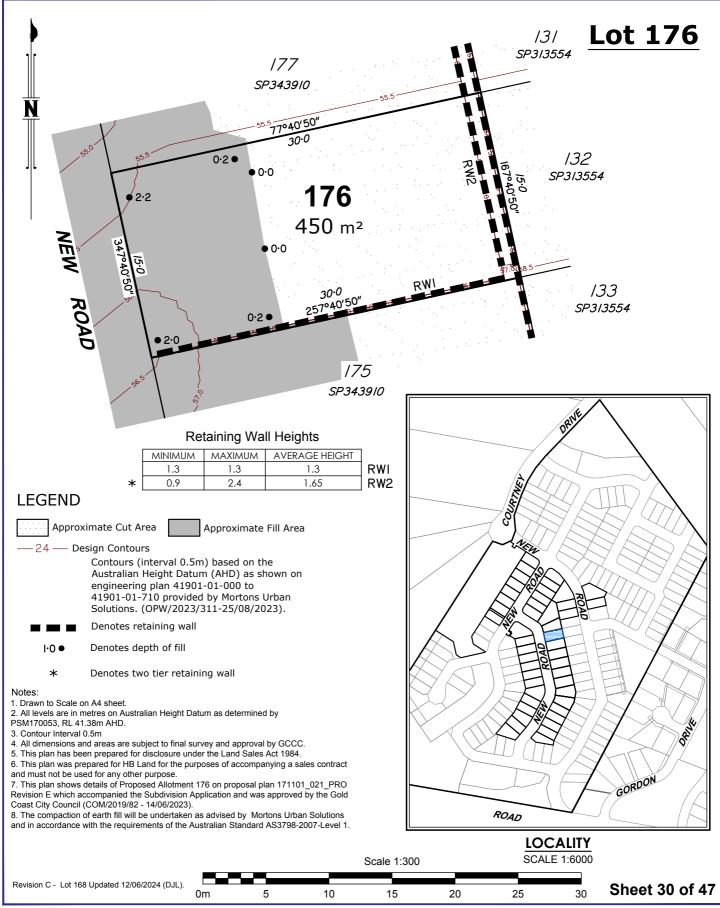
www.bennettandbennett.com.au

Disclosure Plan for Lot 175 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COO	MERA	
Client:	HB AUSTRA PTY LTD	ALIA	



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Disclosure Plan for Lot 176 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

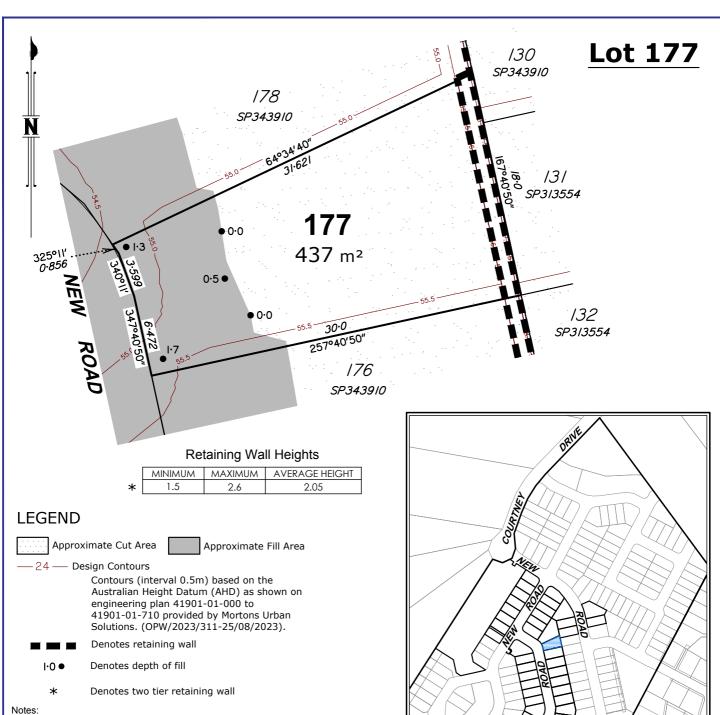
This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Plt Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

Onom.	115 716 6 116 1267		
	PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	

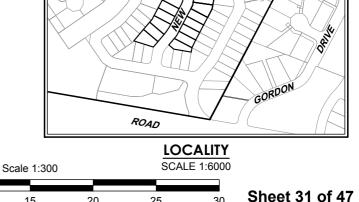
HB AUSTRALIA

Client:

44



- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41,38m AHD.
- 3. Contour Interval 0.5m
- 4. All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- 6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 177 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



OI: 1



Revision C - Lot 168 Updated 12/06/2024 (DJL).

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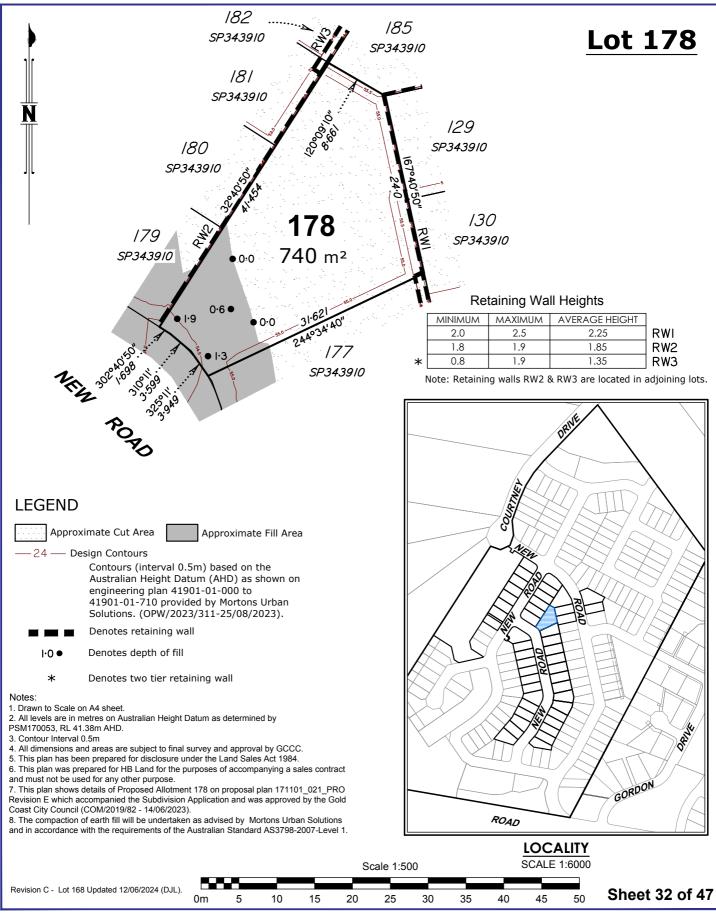
Disclosure Plan for Lot 177 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
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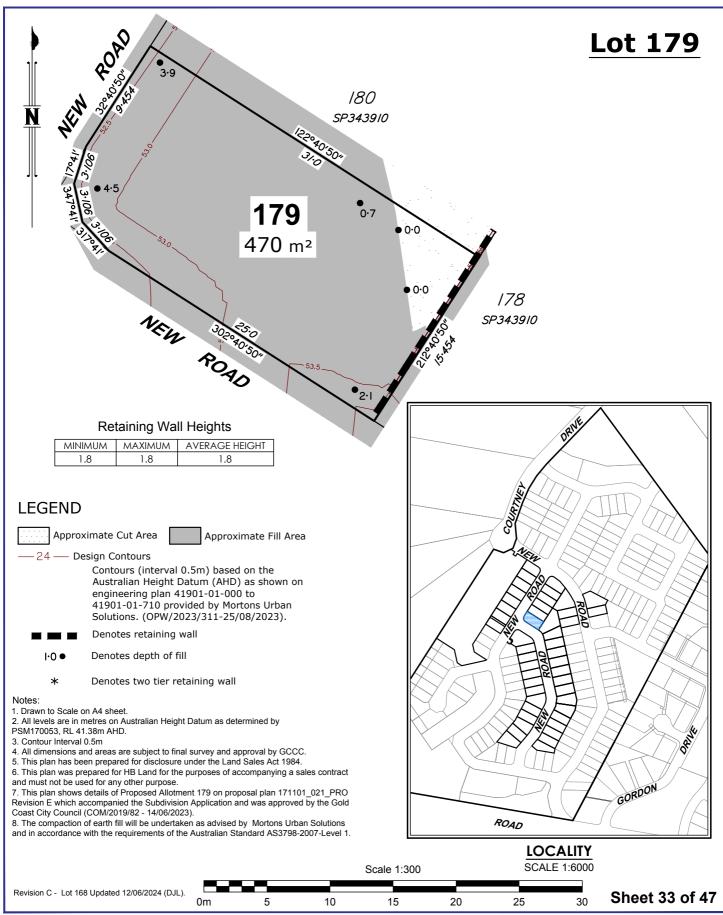
www.bennettandbennett.com.au

Disclosure Plan for Lot 178 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:500
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	





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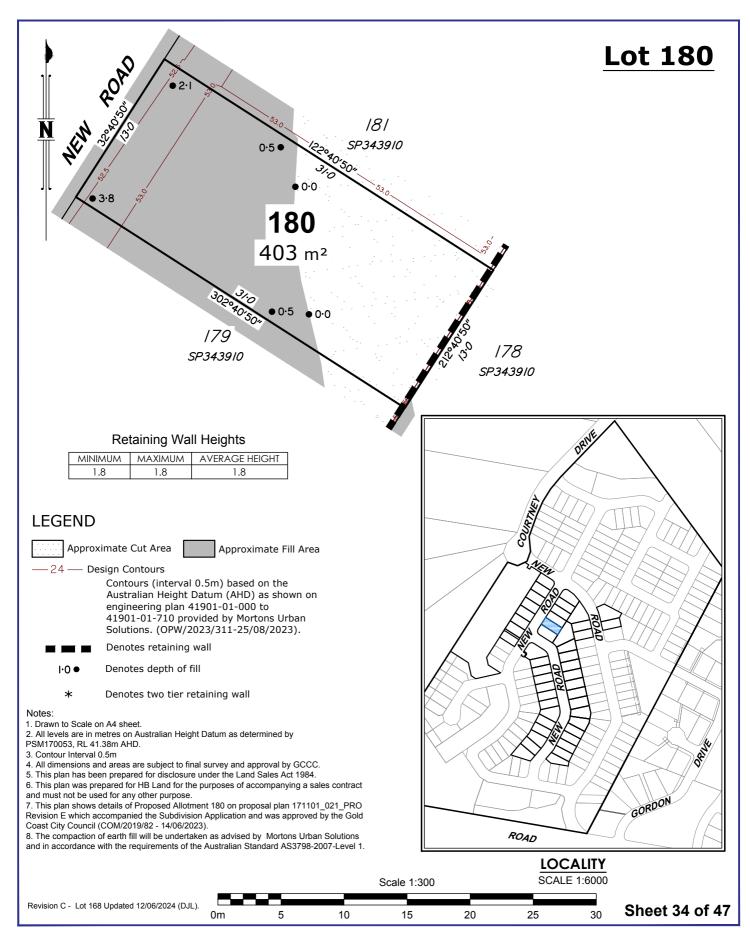
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Disclosure Plan for Lot 179 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	





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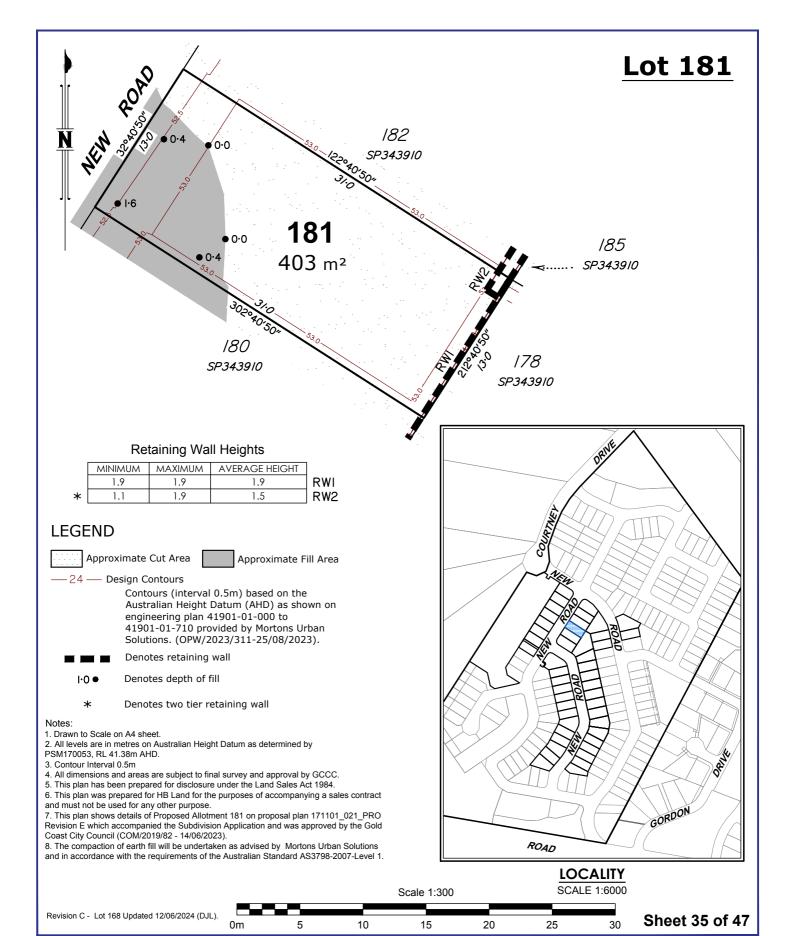
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Disclosure Plan for Lot 180 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	



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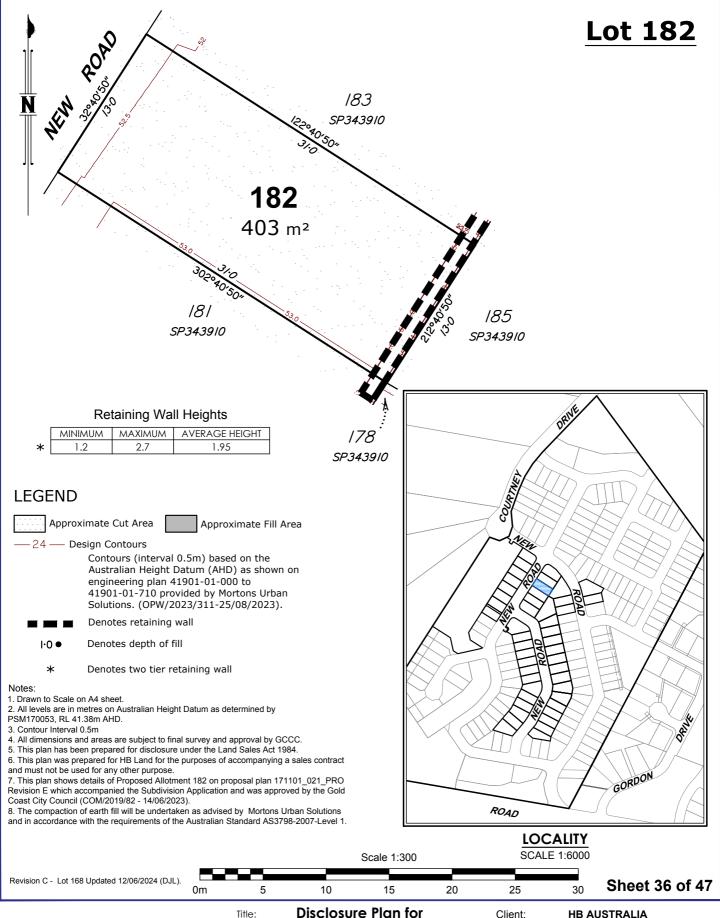
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Disclosure Plan for Lot 181 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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16/09/2023	Scale:	1:300
SF	Approved:	SWM
GCCC	Prepared By:	SCO
UPPER COO	MERA	
PTY LTD	ALIA	
	PTY LTD UPPER COO GCCC SF 16/09/2023 171101.proje	UPPER COOMERA GCCC Prepared By: SF Approved:





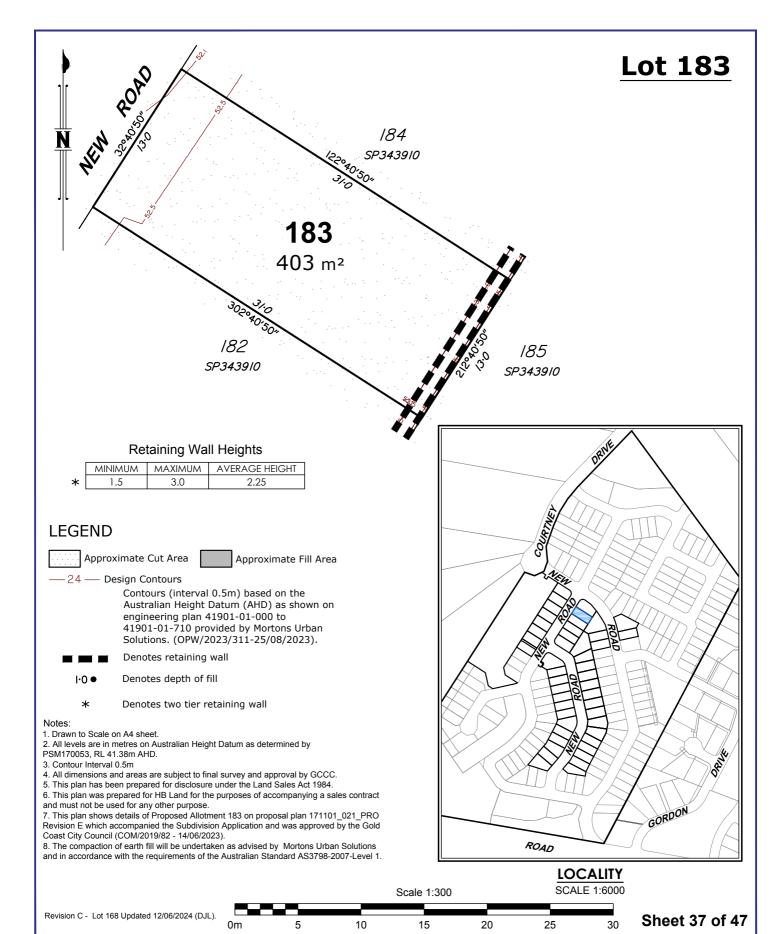
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Disclosure Plan for Lot 182 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COO	MERA	
	PTY LTD		
Client:	HB AUSTR	ALIA	



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Disclosure Plan for Lot 183 on SP343910

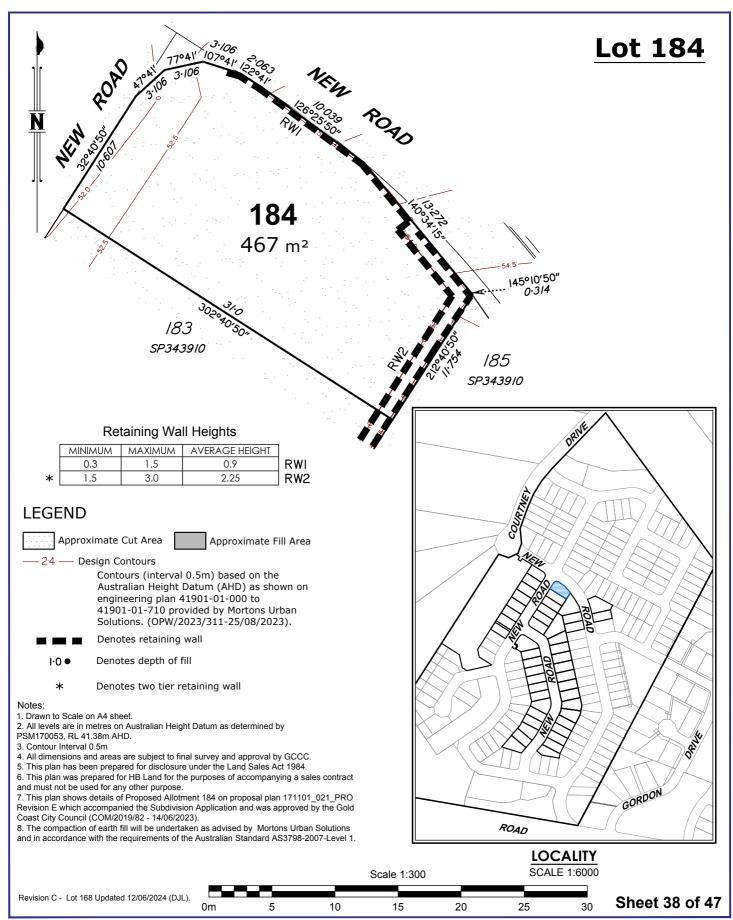
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	

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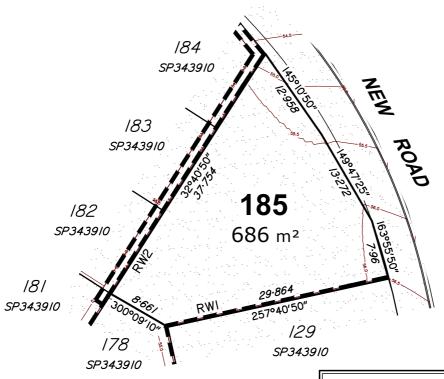
www.bennettandbennett.com.au

Disclosure Plan for Lot 184 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	



	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.3	1.3	1.3	RWI
*	1.5	3.0	2.25	RW2

Note: Retaining wall RW2 is located in adjoining lots.

LEGEND

Approximate Cut Area Approximate Fill Area

— 24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 41901-01-000 to 41901-01-710 provided by Mortons Urban Solutions. (OPW/2023/311-25/08/2023).

Denotes retaining wall

I·0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes

- 1. Drawn to Scale on A4 sheet.
- 2. All levels are in metres on Australian Height Datum as determined by PSM170053. RL 41.38m AHD.
- 3. Contour Interval 0.5m
- All dimensions and areas are subject to final survey and approval by GCCC
- 5. This plan has been prepared for disclosure under the Land Sales Act 1984.
- This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
- 7. This plan shows details of Proposed Allotment 185 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 14/06/2023).
- 8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Lot 185

Scale 1:500

Scale 1:500

Scale 1:6000

Om 5 10 15 20 25 30 35 40 45 50

Sheet 39 of 47

Title: Disclosure Plan for Client: HB AUSTRALIA

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Revision C - Lot 168 Updated 12/06/2024 (DJL).

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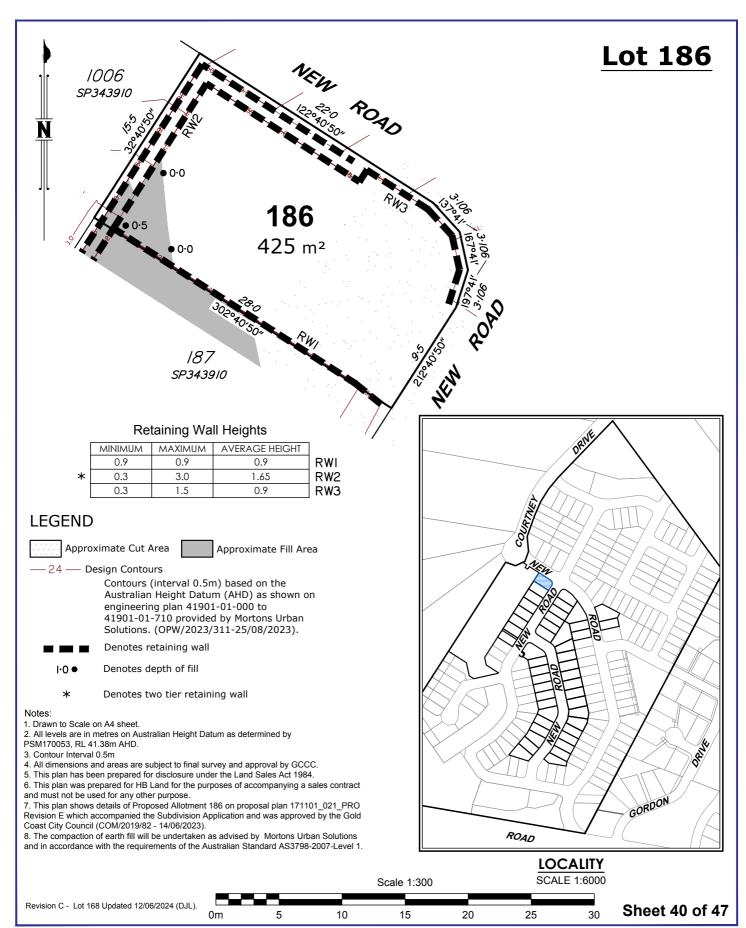
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Disclosure Plan for Lot 185 on SP343910

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:500
Comp File:	171101.proje	ct	
Plan No:	171101 03	3 DIS	



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Disclosure Plan for Lot 186 on SP343910

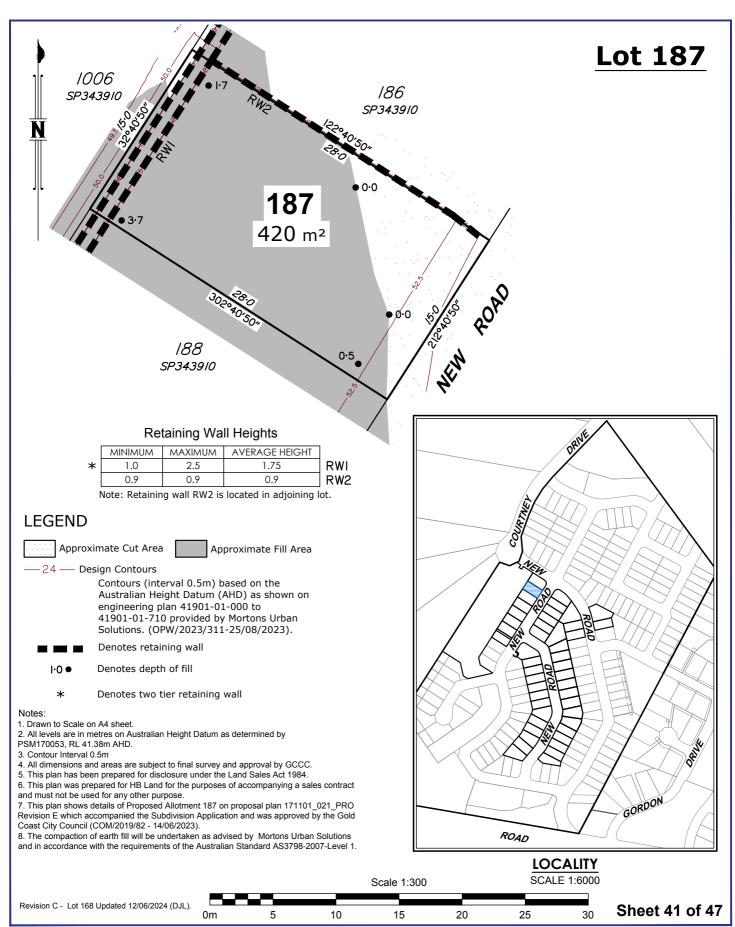
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Plan No:	171101_03	3_DIS	
Comp File:	171101.proje	ct	
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COO	MERA	
Cilent.	PTY LTD	ALIA	

Cliant





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Disclosure Plan for Lot 187 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Plt Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	
Surveyed By:	SF	Approved:	
Date Created:	16/00/2023	Scale:	

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 Date Created:
 16/09/2023
 Scale:

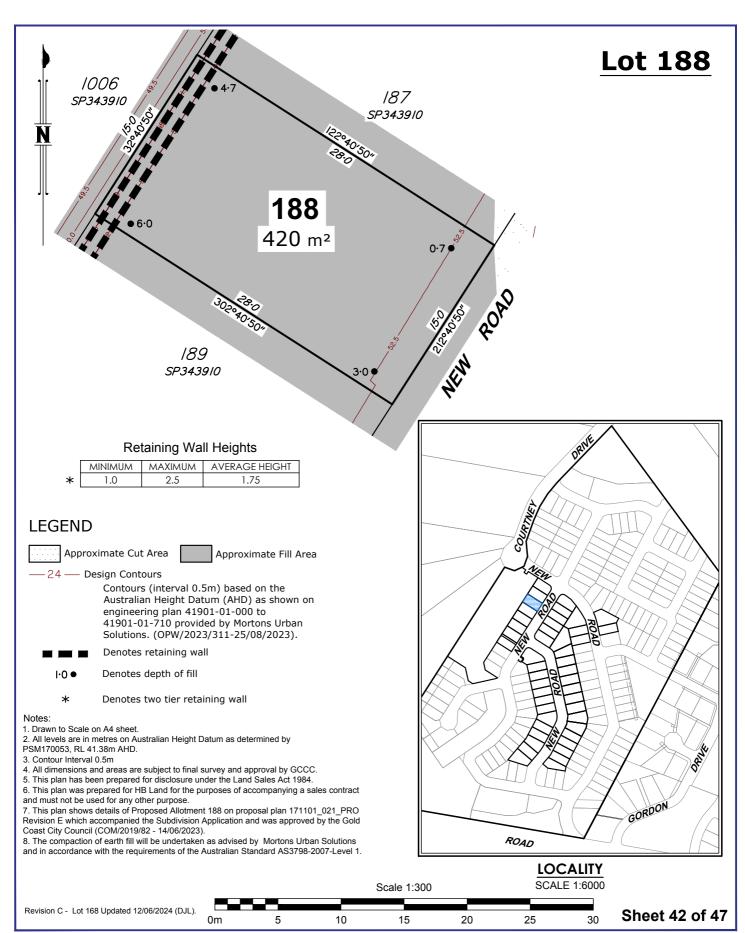
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 Plan No:
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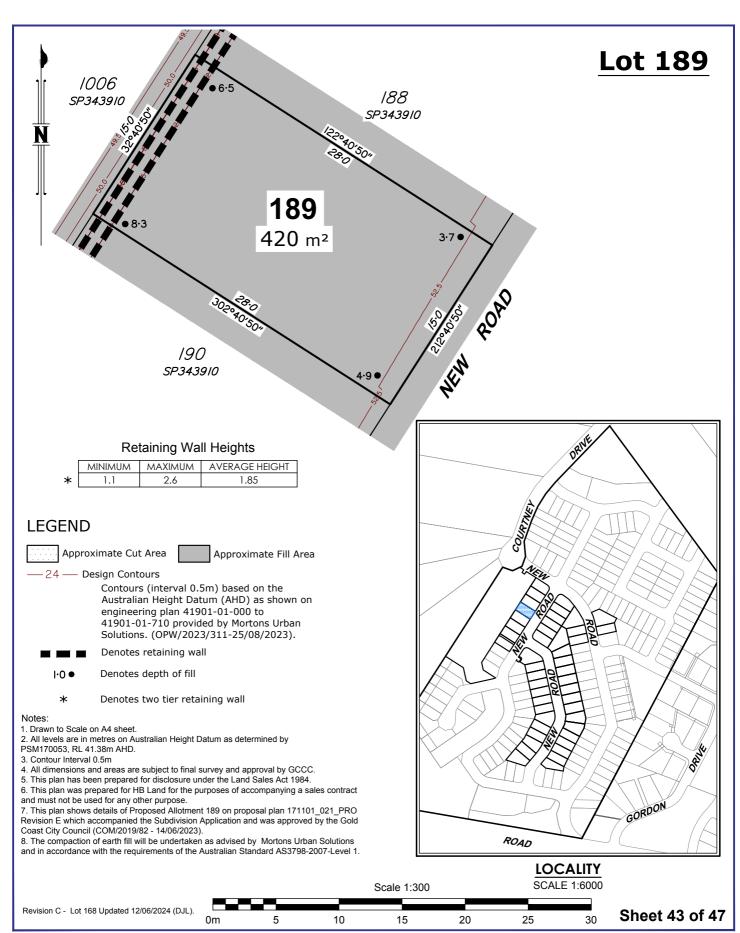
www.bennettandbennett.com.au

Disclosure Plan for Lot 188 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COO	MERA	
Local Gov:	GCCC	Prepared By:	SCO
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.proje	ct	
Plan No:	171101_03	3_DIS	





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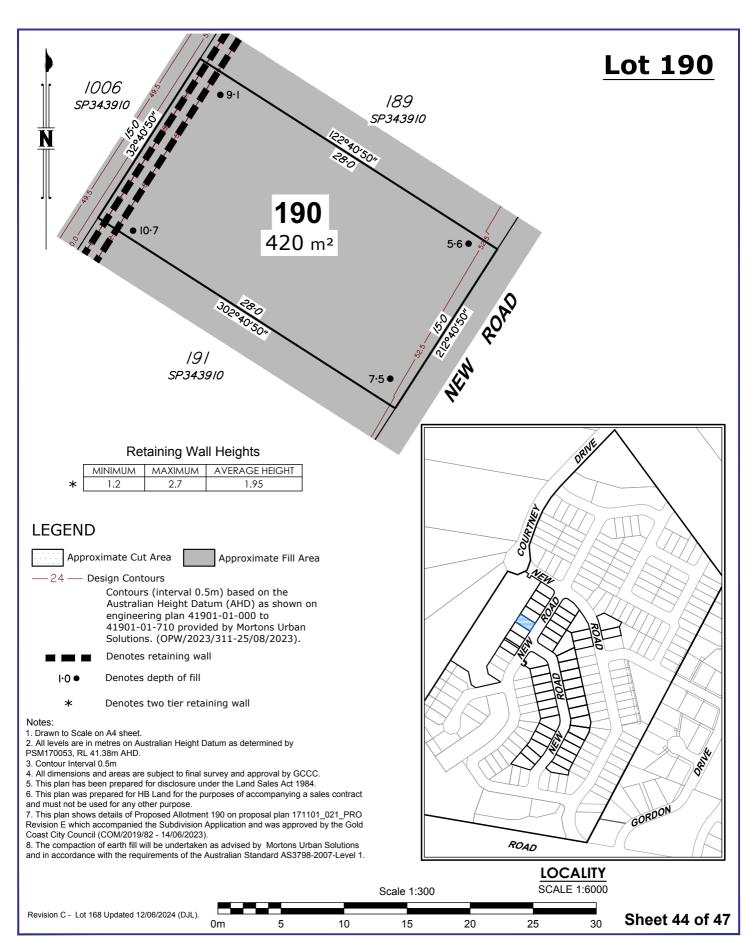
www.bennett and bennett.com. au

Disclosure Plan for Lot 189 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Client:	HB AUSTRA PTY LTD	LIA	
Locality:	UPPER COOM	MERA	
Local Gov:	GCCC	Prepared By:	SCC
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.projec	t	
Plan No:	171101 03	3 DIS	



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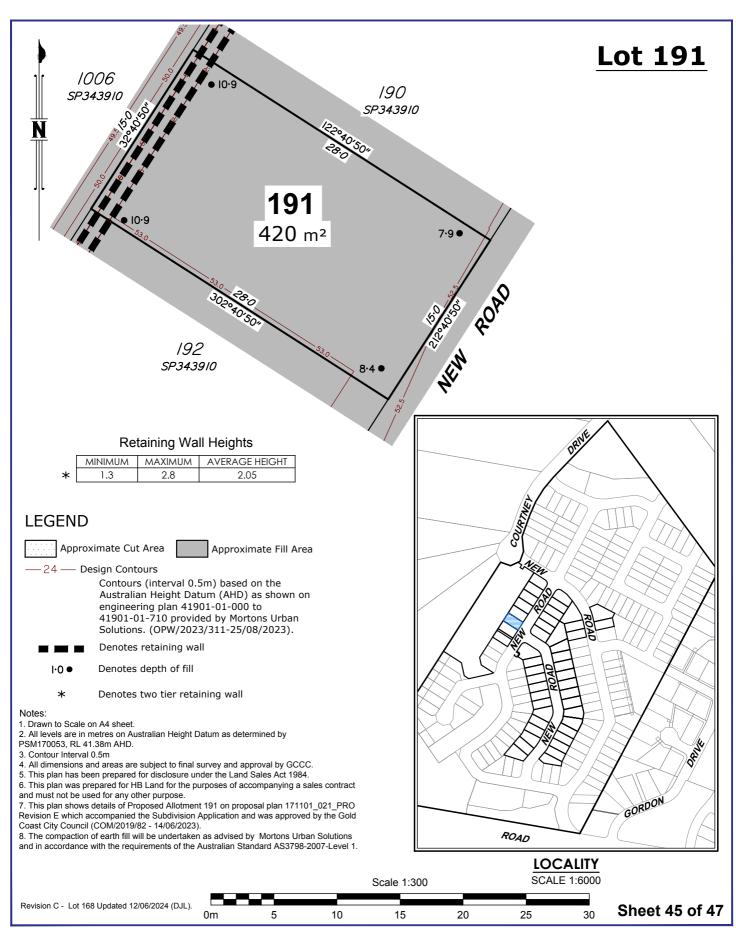
Disclosure Plan for Lot 190 on SP343910

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:	HB AUSTRA	ALIA	
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SCC
Surveyed By:	SF	Approved:	SWN
Date Created:	16/09/2023	Scale:	1:30
Comp File:	171101.project		
Plan No:	171101_033_DIS		





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Disclosure Plan for Lot 191 on SP343910

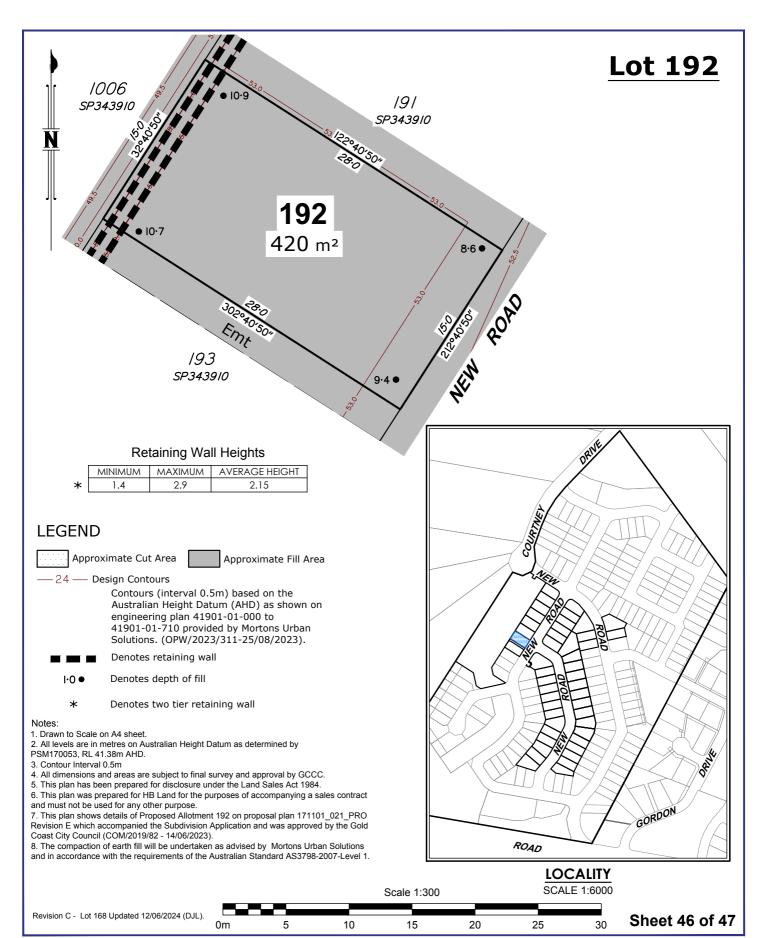
Title:

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Client:	HB AUSTRALIA		
	PTY LTD		
Locality:	UPPER COOMERA		
Local Gov:	GCCC	Prepared By:	SCC
Surveyed By:	SF	Approved:	SWM
Date Created:	16/09/2023	Scale:	1:300
Comp File:	171101.project		
Plan No:	171101 03	3 DIS	

OI: 1





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Disclosure Plan for Lot 192 on SP343910

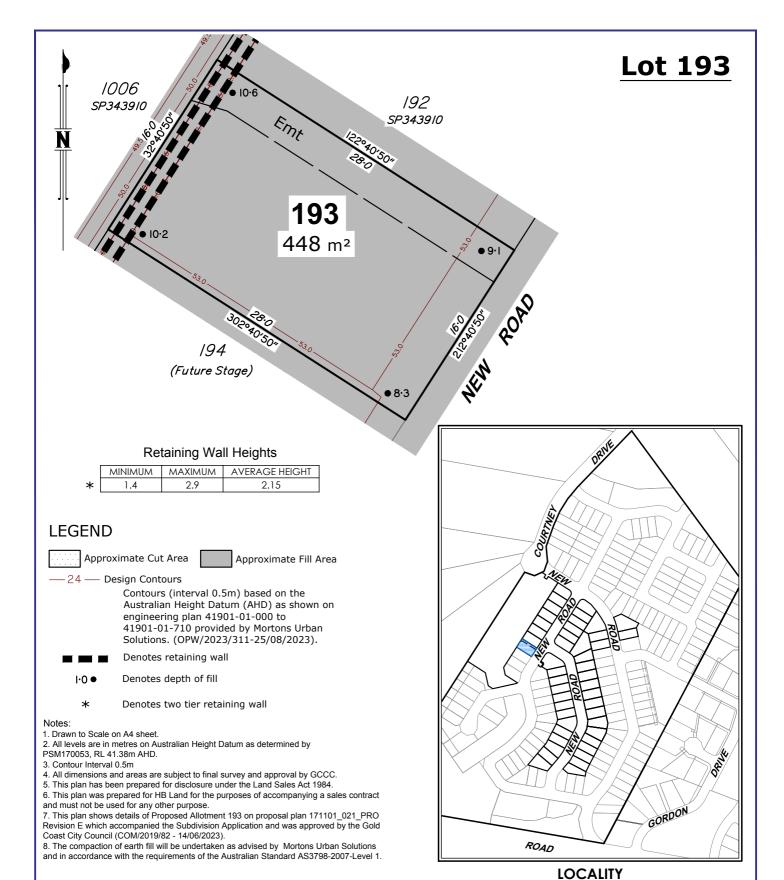
Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

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Client:	HB AUSTRALIA			
	PTY LTD			
Locality:	UPPER COOMERA			
Local Gov:	GCCC	Prepared By:	SCO	
Surveyed By:	SF	Approved:	SWM	
Date Created:	16/09/2023	Scale:	1:300	
Comp File:	171101.project			
Plan No:	171101 03	3 DIS		

OI: 1



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Revision C - Lot 168 Updated 12/06/2024 (DJL).

PO Box 5021, GCMC QLD 9726 Ph: (07) 5631 8000 mail@bennettandbennett.com.au

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Disclosure Plan for Lot 193 on SP343910

10

Title:

Cancelling Lot 900 on SP313554 Courtney Drive, Upper Coomera (Stage 2)

Scale 1:300

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Plan No:	171101_033_DIS		
Comp File:	171101.project		
Date Created:	16/09/2023	Scale:	1:300
Surveyed By:	SF	Approved:	SWM
Local Gov:	GCCC	Prepared By:	SCO
Locality:	UPPER COOMERA		
	PTY LTD		
Client:	HB AUSTRALIA		

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SCALE 1:6000