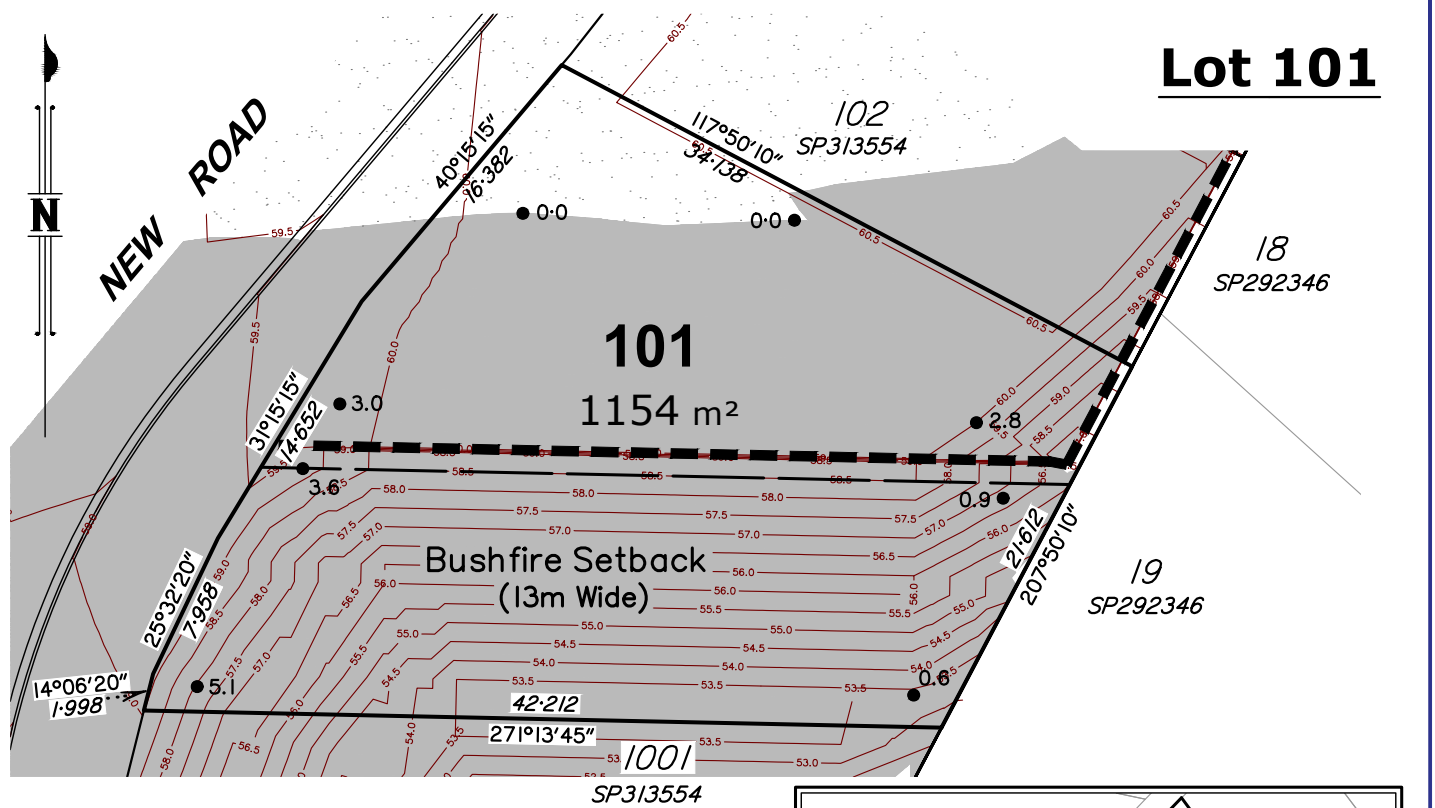


Lot 101



Retaining Wall Heights

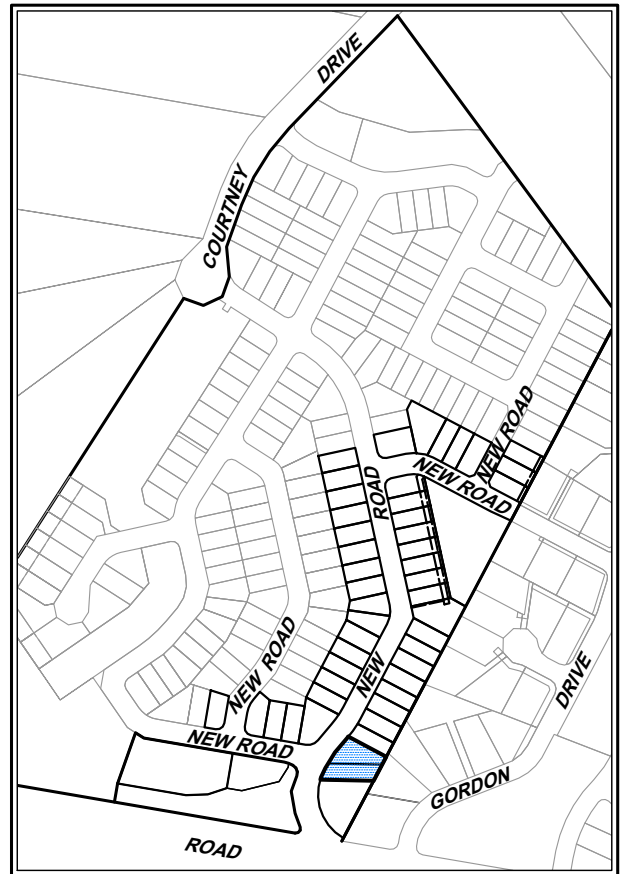
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 101 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

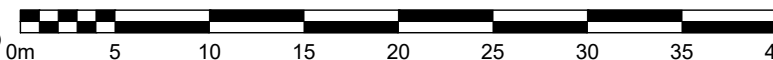


LOCALITY

SCALE 1:6000

Scale 1:400

Revision C - Easement Revision 25/09/2023 (SCO)



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Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 101 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:400

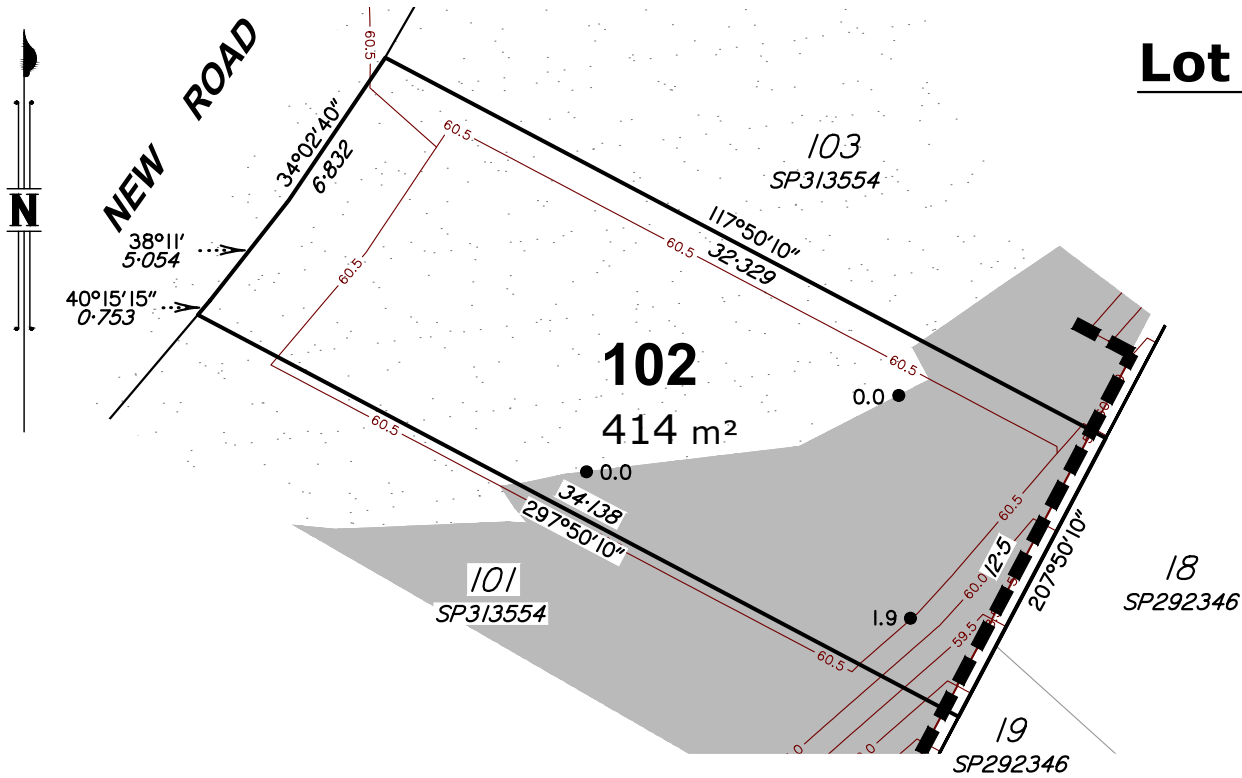
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 102



Retaining Wall Heights

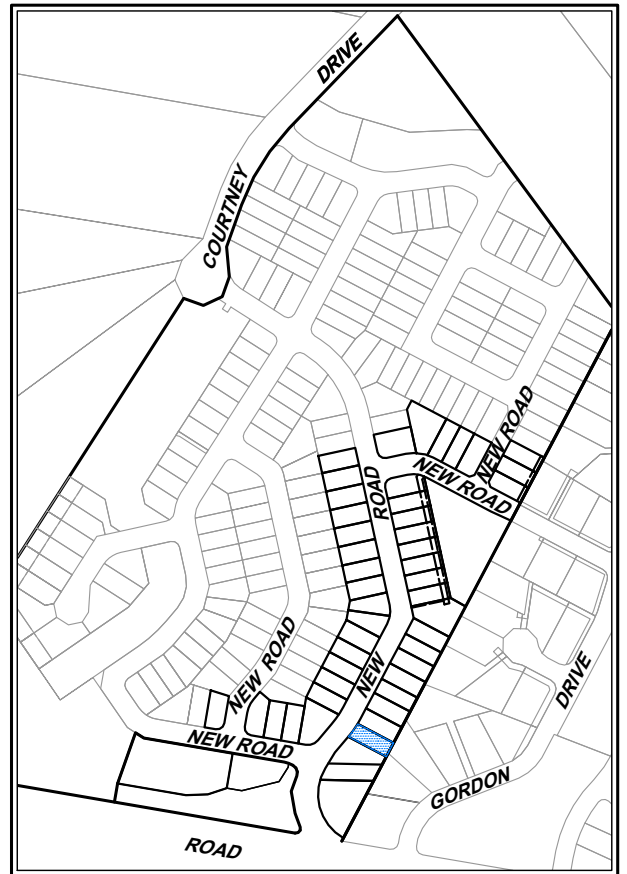
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 102 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

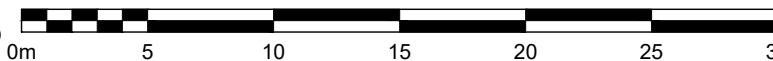


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 102 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

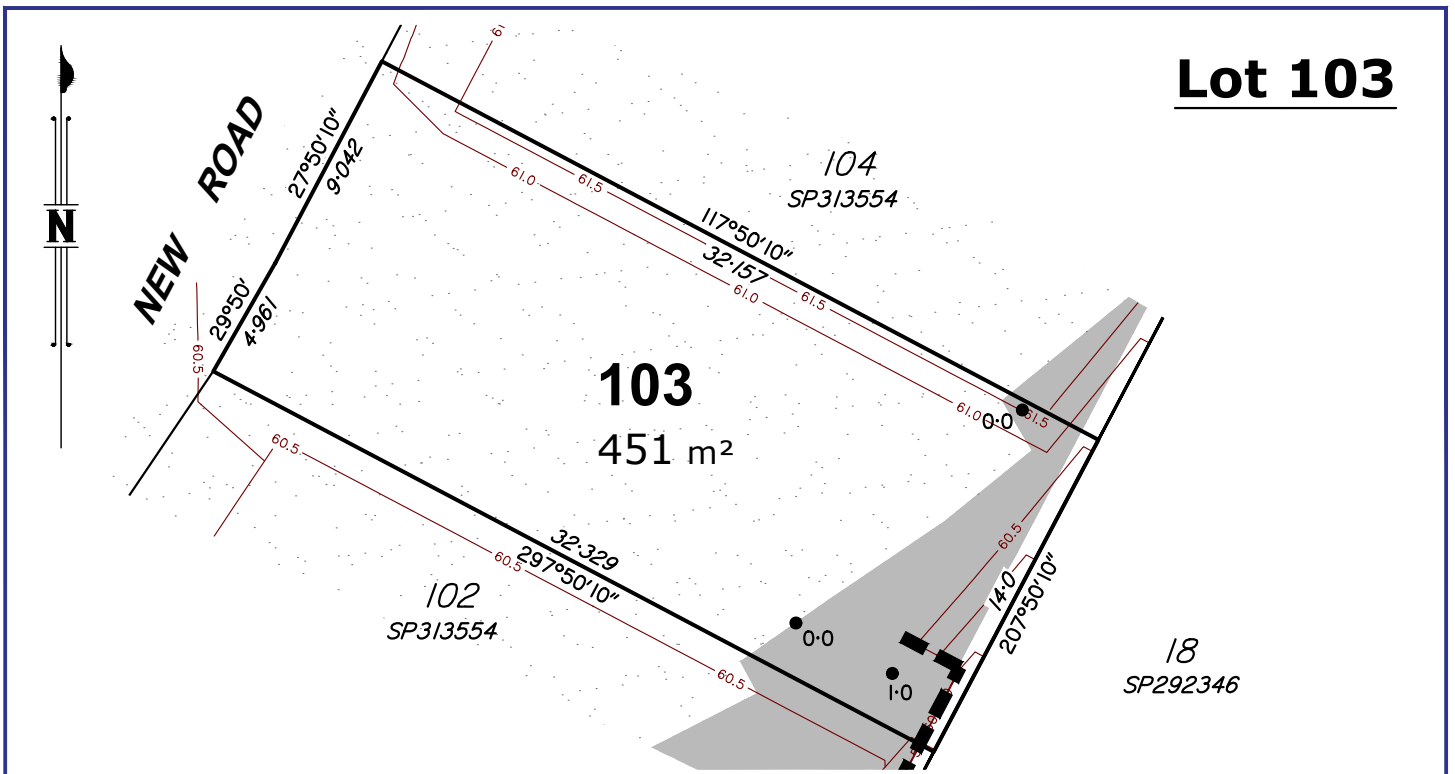
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 103



Retaining Wall Heights

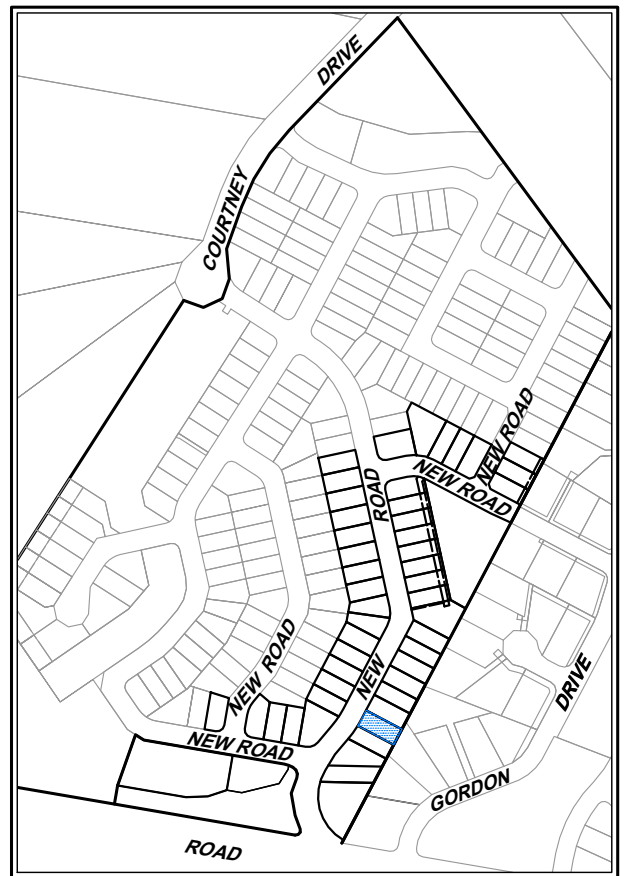
MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.8	1.5	1.15

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- I-0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 103 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

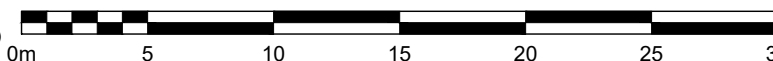


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 103 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

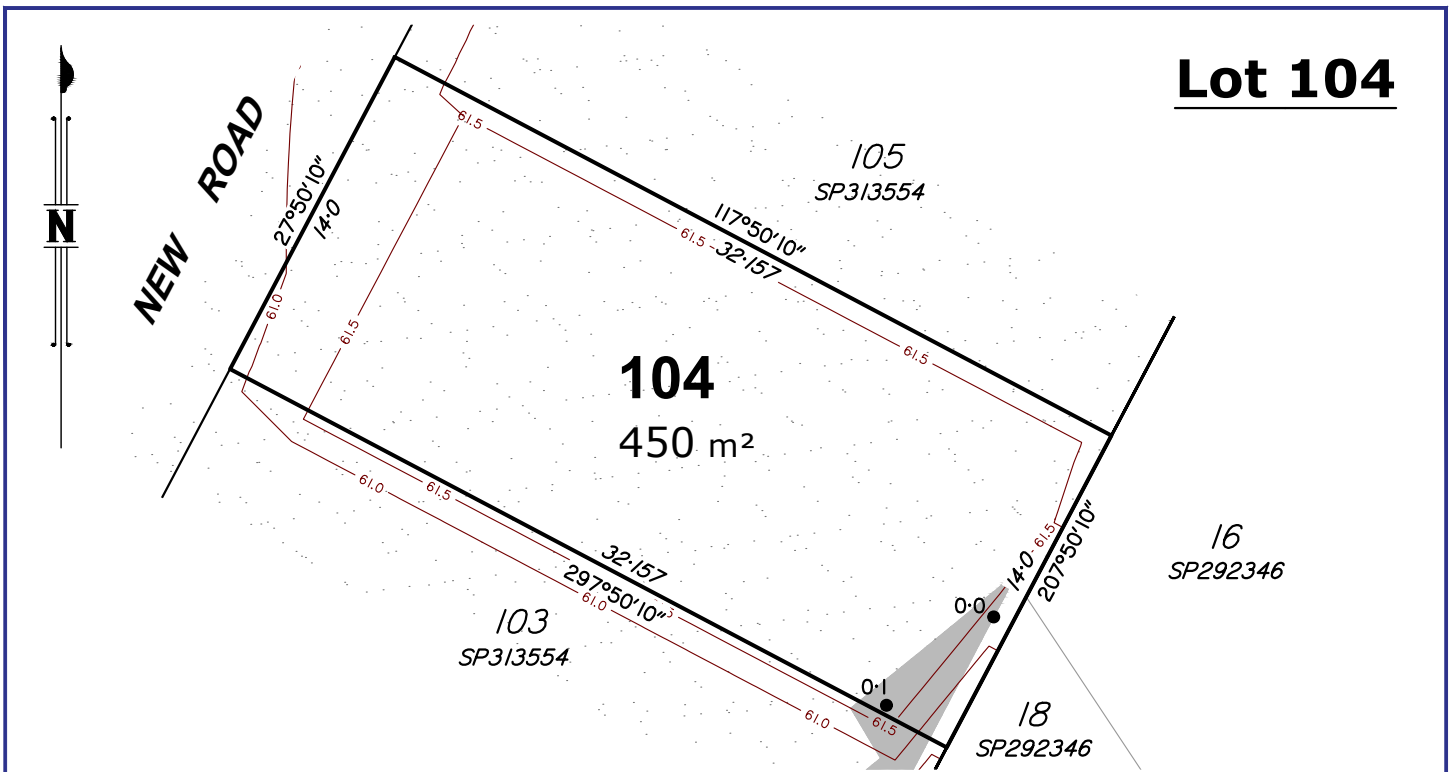
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 104

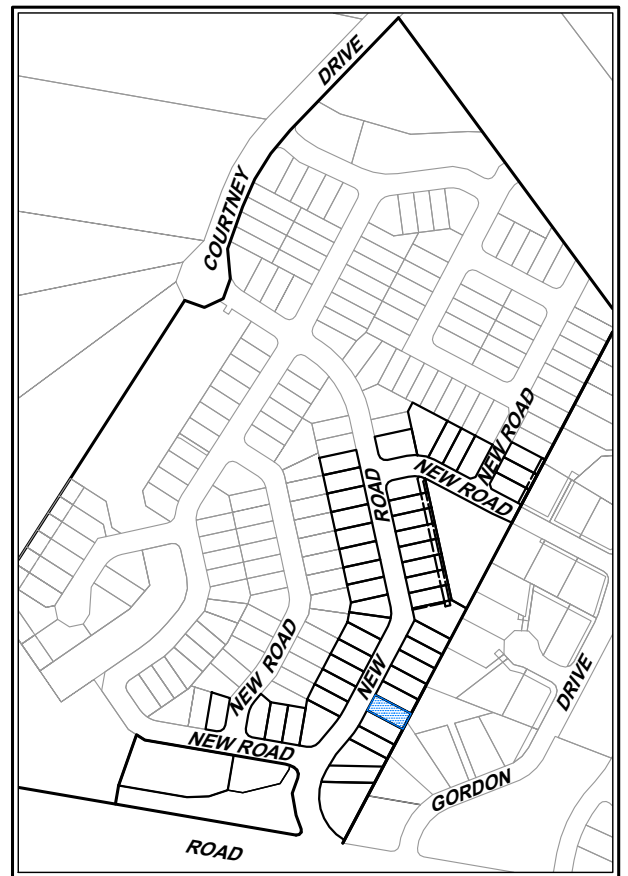


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 104 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 104 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

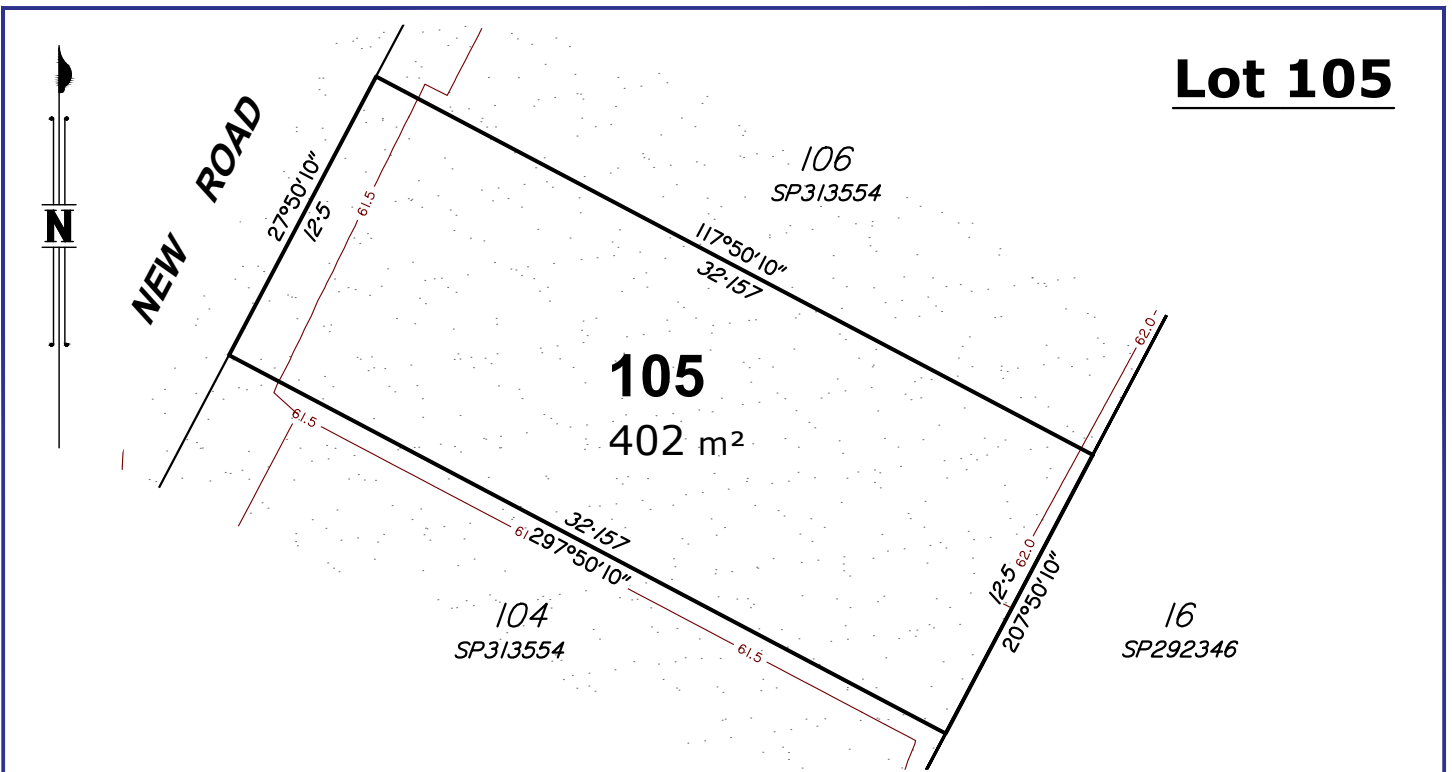
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 105

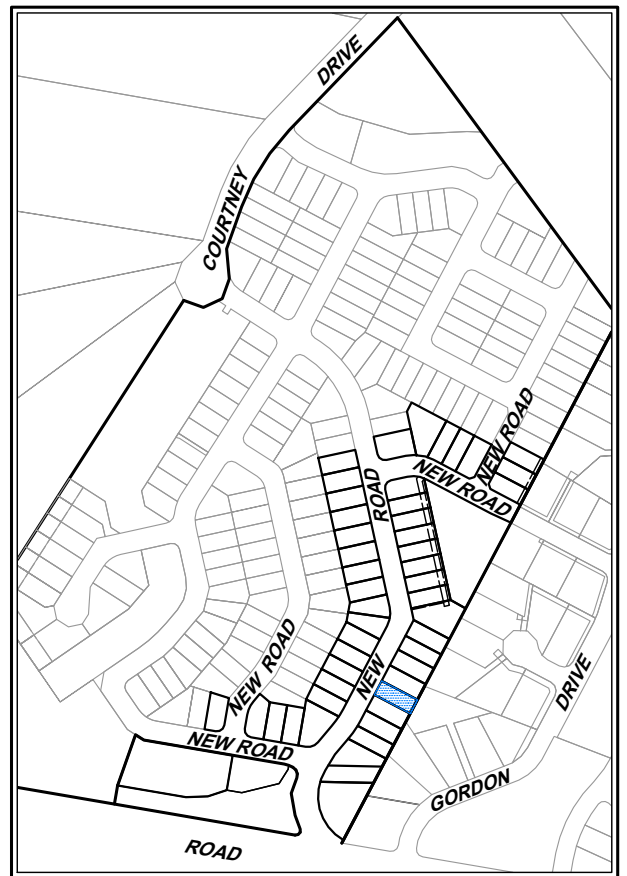


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 105 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 105 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

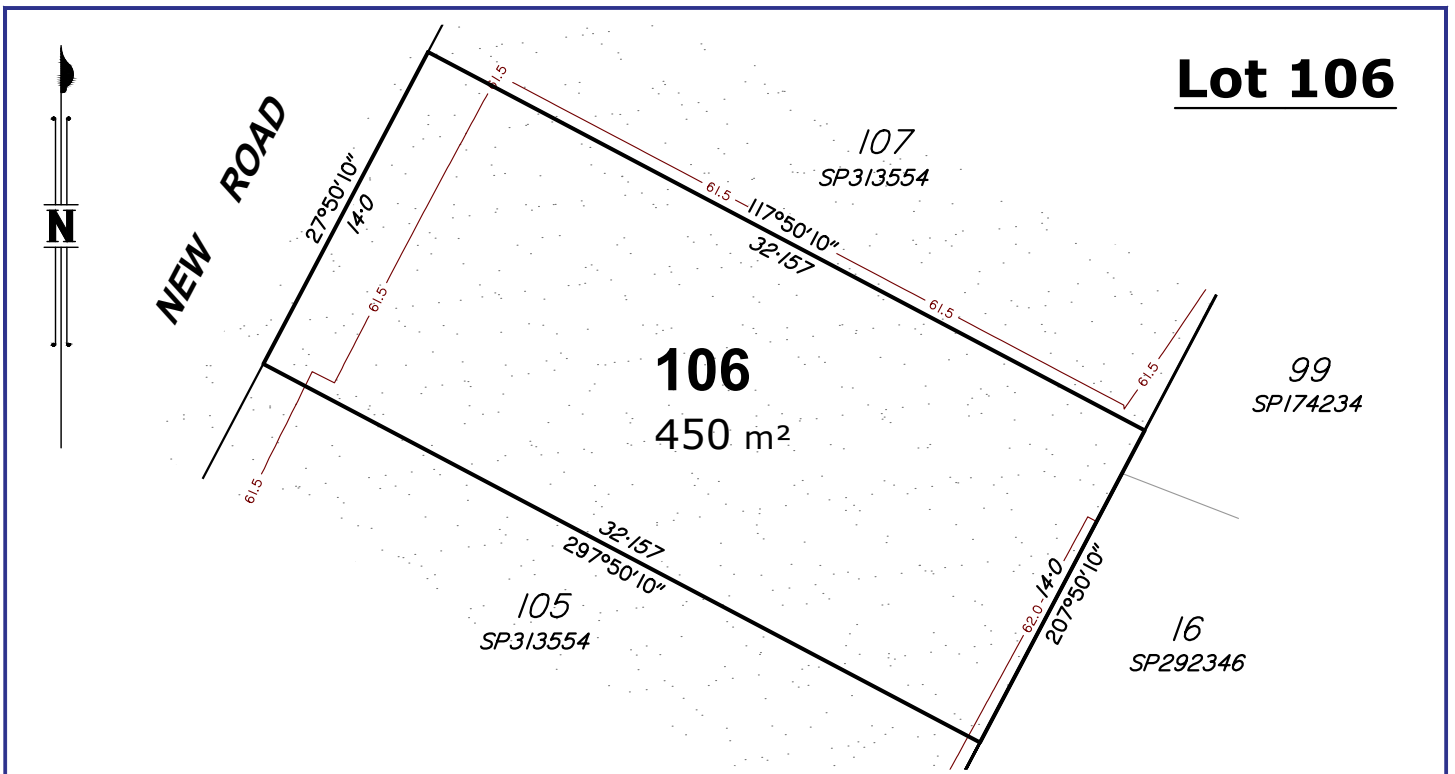
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 106

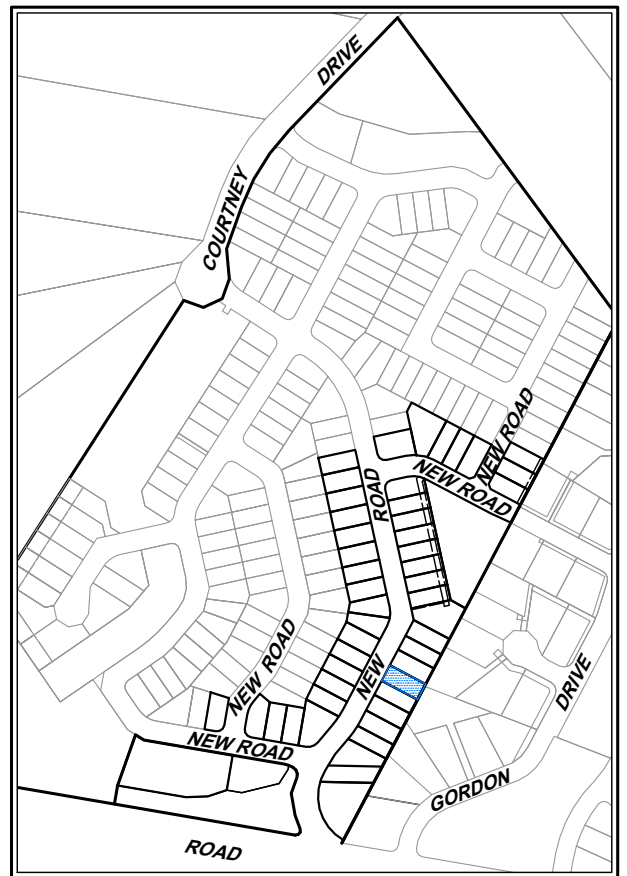


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 106 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

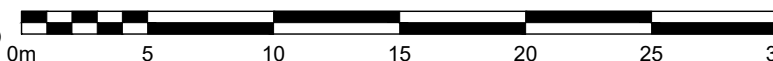


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 6 of 46



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mail@bennettandbennett.com.au

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GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 106 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

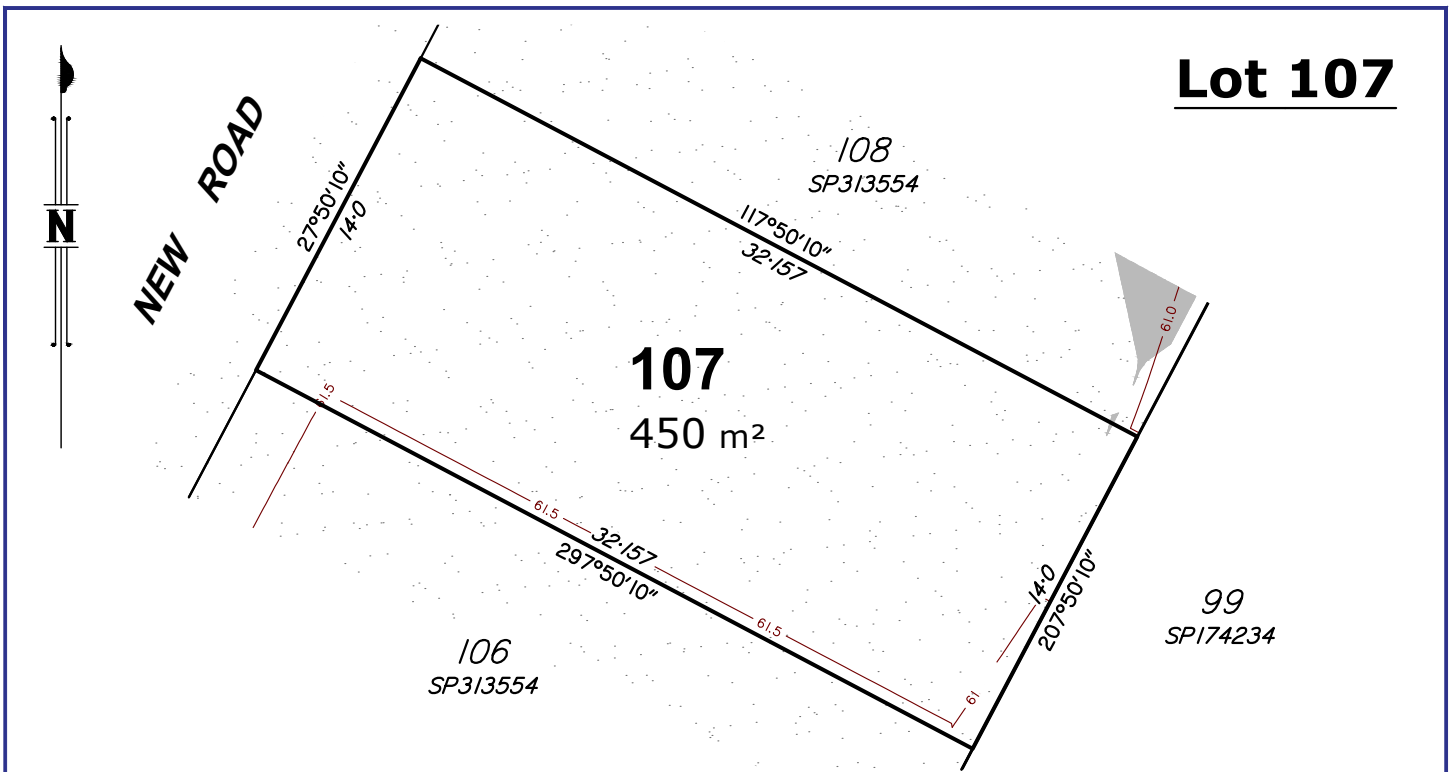
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 107

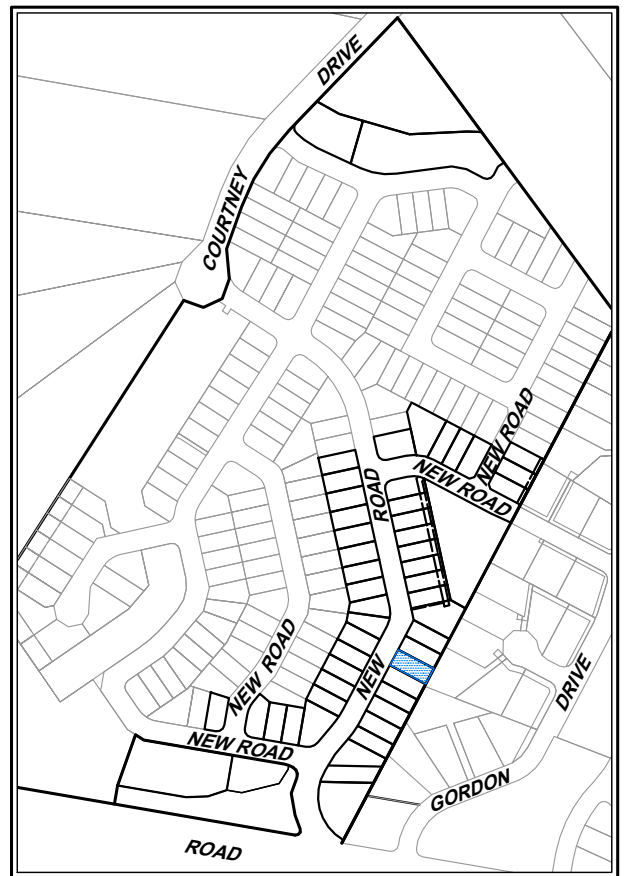


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 107 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

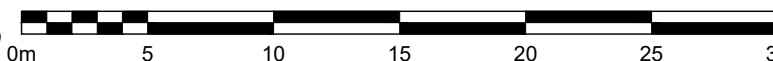


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 7 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 107 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

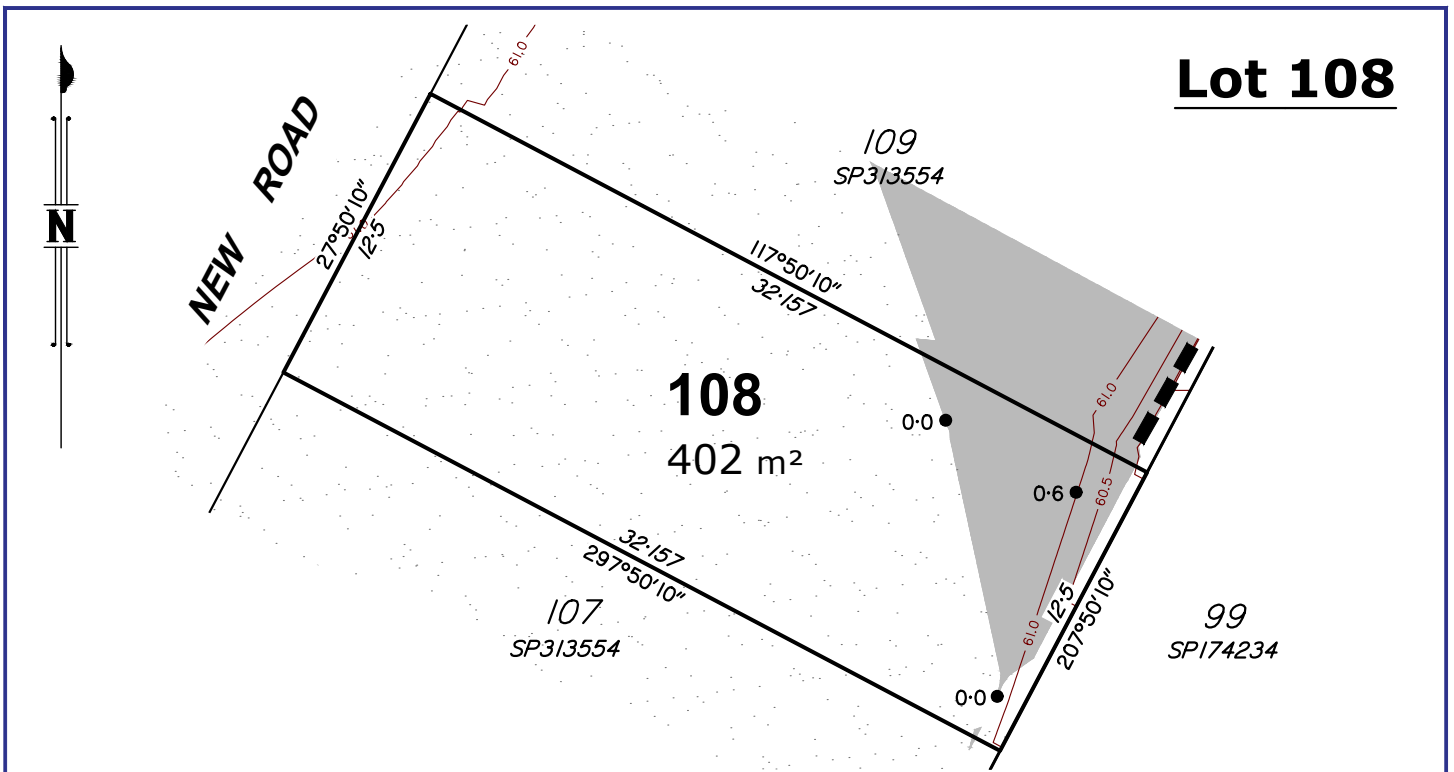
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 108

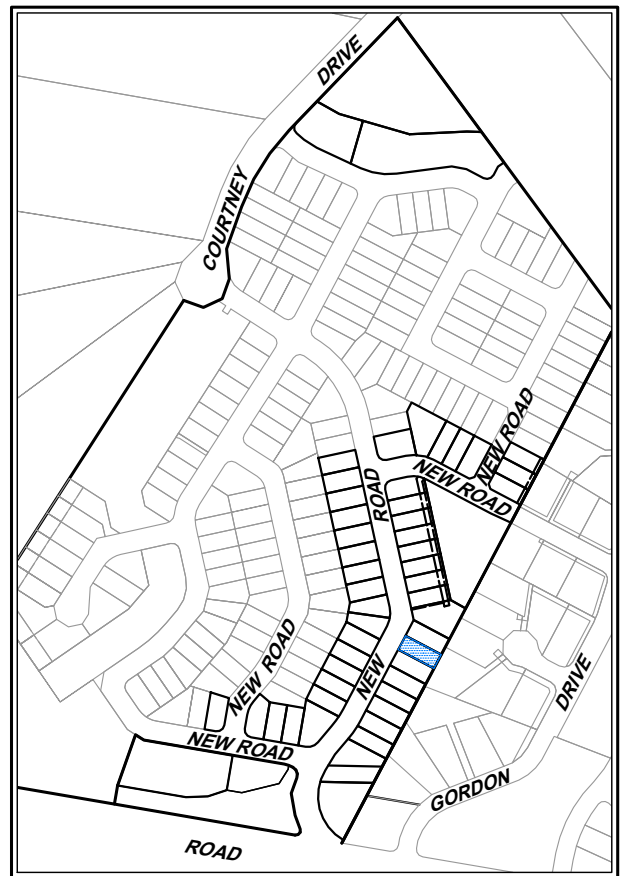


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 108 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

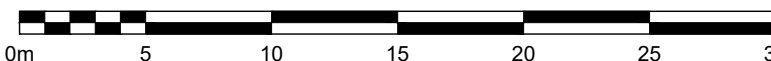


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 108 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

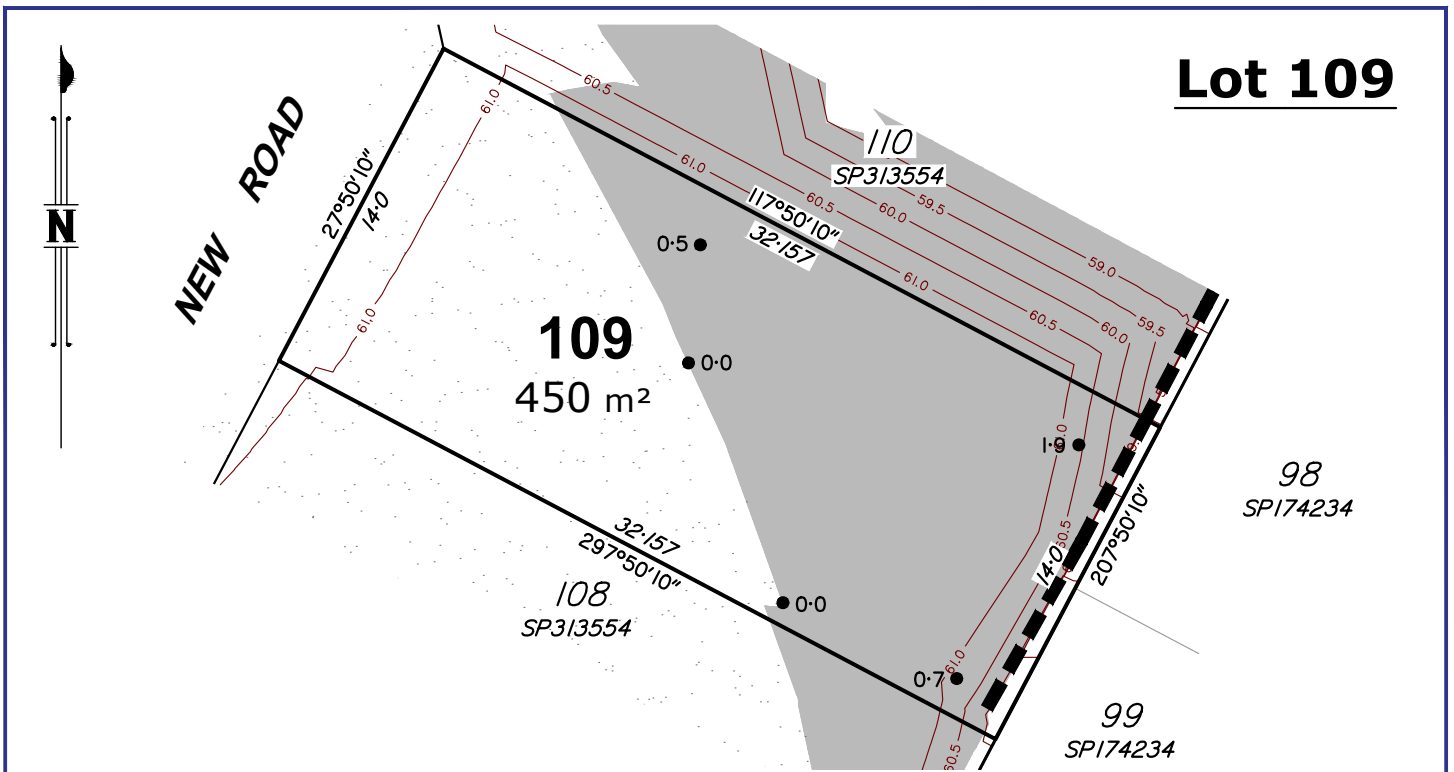
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 109



Retaining Wall Heights

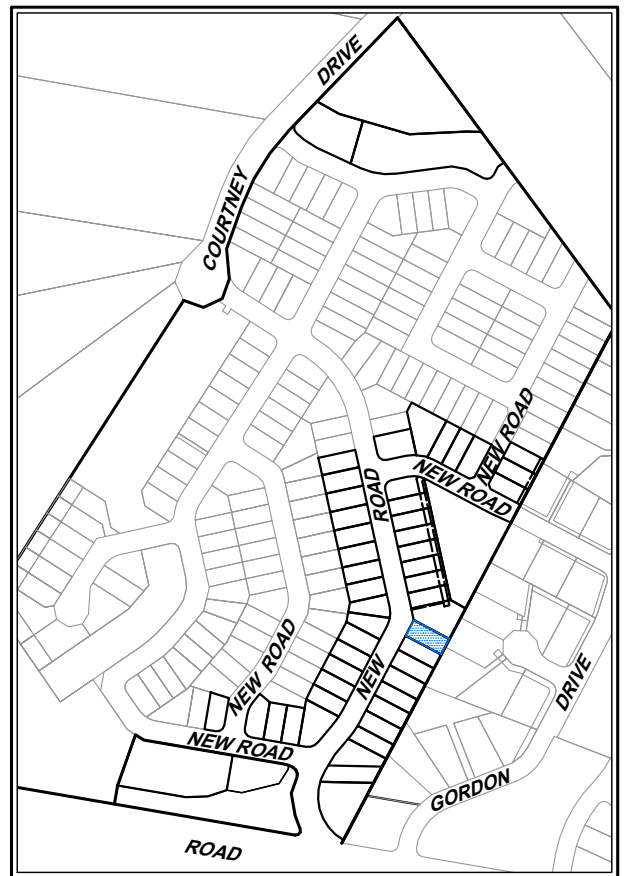
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 109 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

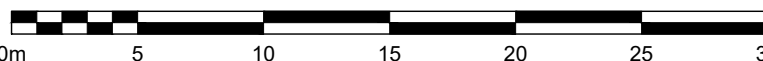


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 9 of 46



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Ph: (07) 5631 8000
mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 109 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

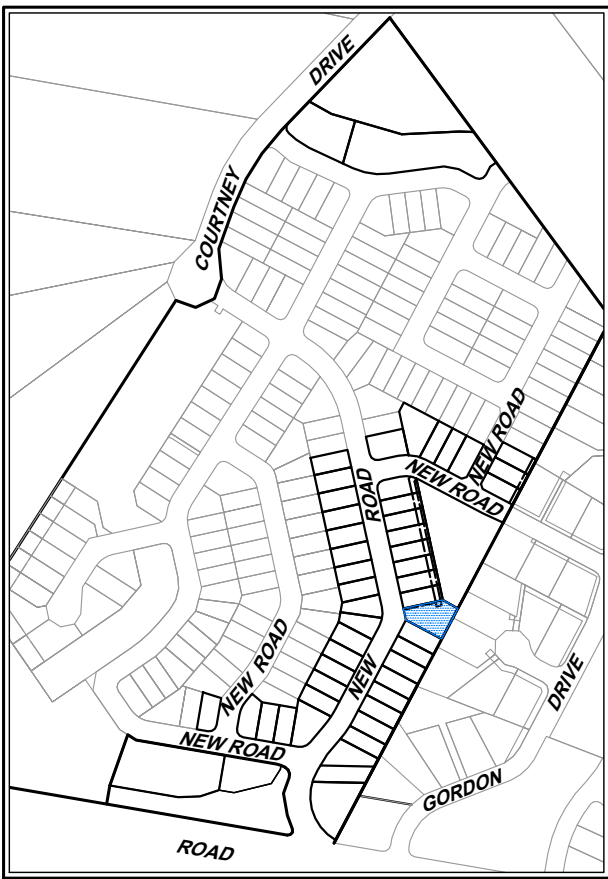
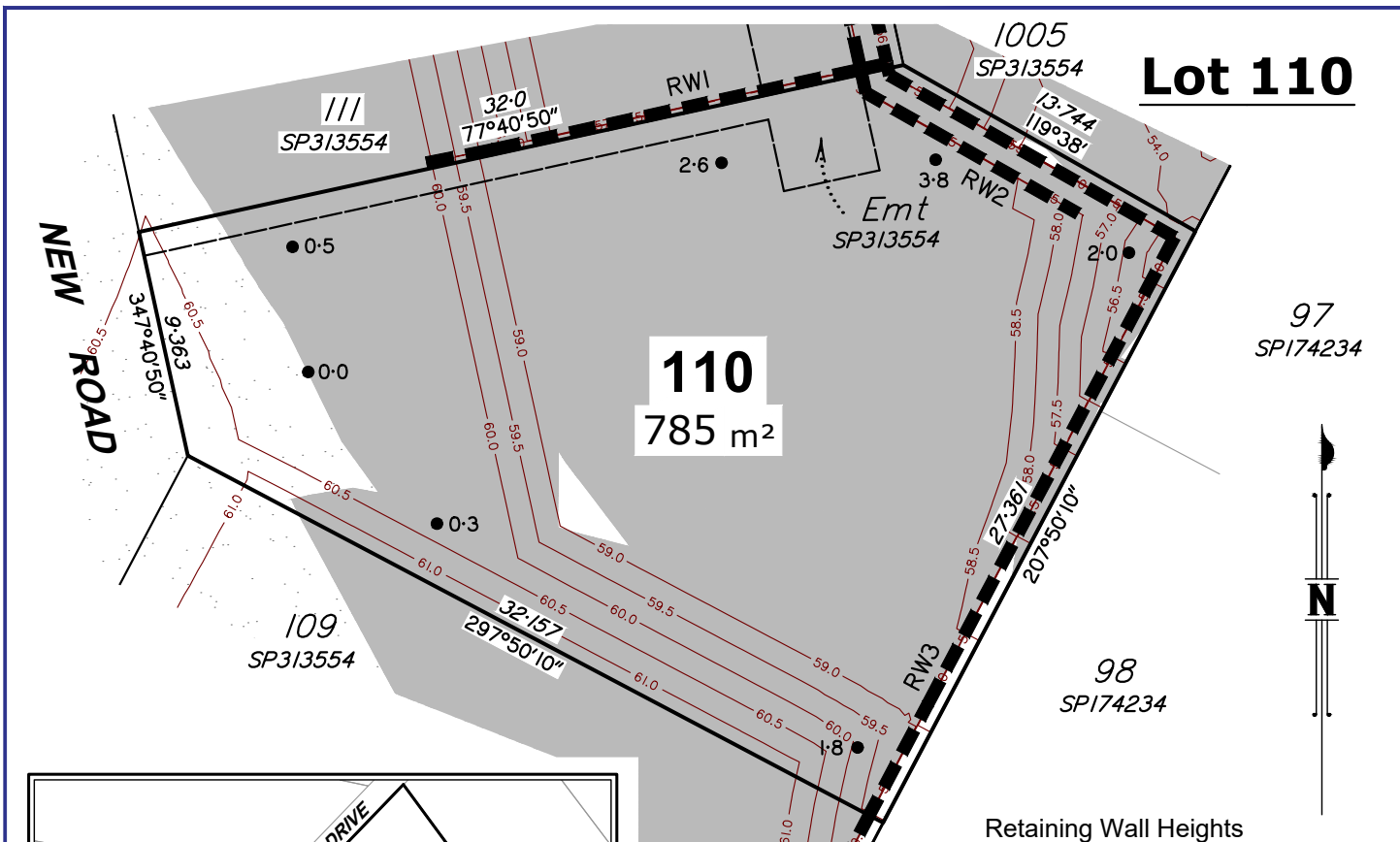
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 110



LOCALITY
SCALE 1:6000

Scale 1:300

Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT
* RW1	1.3	1.3	1.3
* RW2	1.5	3.0	2.25
RW3	1.5	1.5	1.5

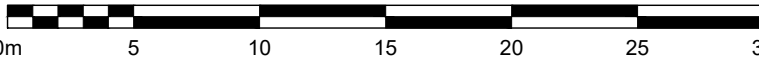
LEGEND

- Approximate Cut Area
- Approximate Fill Area
- Design Contours
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
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7. This plan shows details of Proposed Allotment 110 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 10 of 46



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Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 110 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

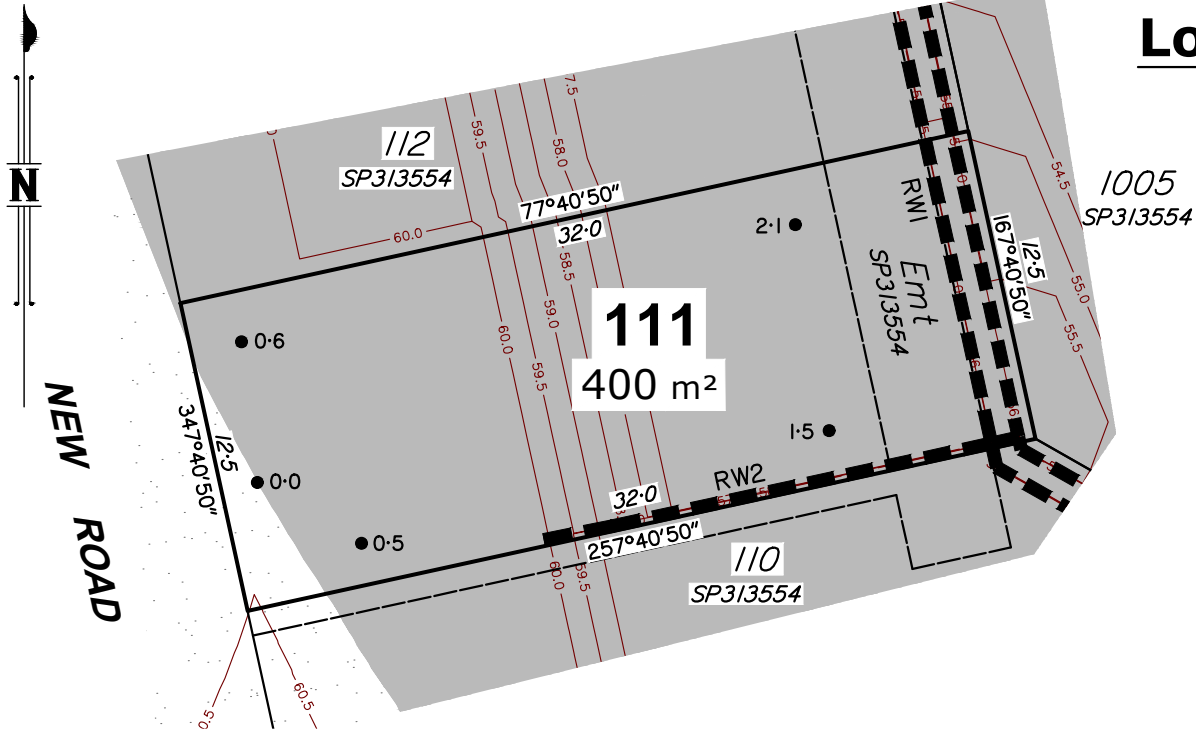
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 111



Retaining Wall Heights

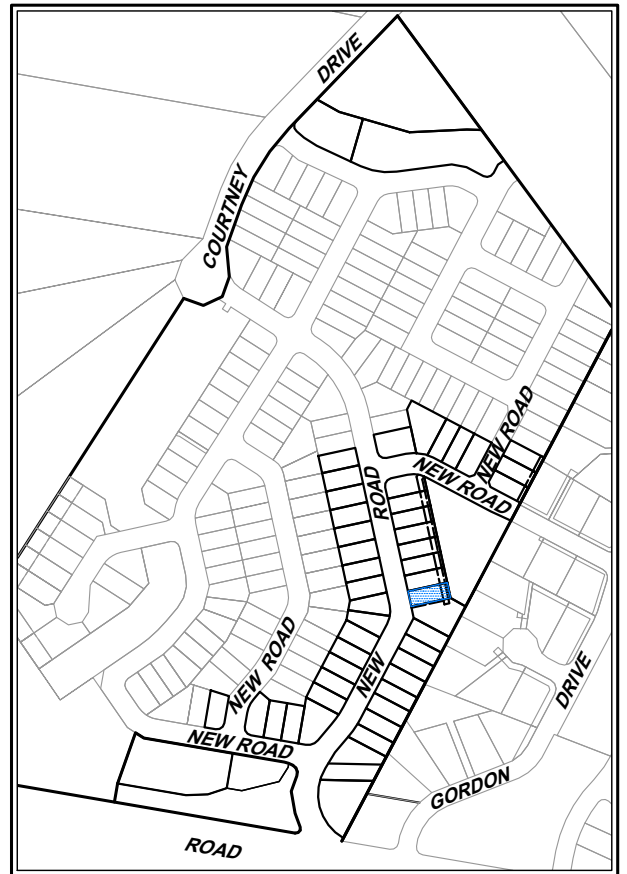
	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	0.4	1.9	1.15	RW1
	1.3	1.3	1.3	RW2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1:0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
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6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 111 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

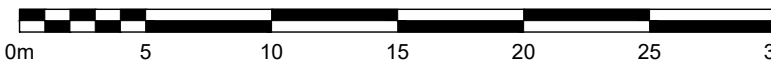


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 111 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

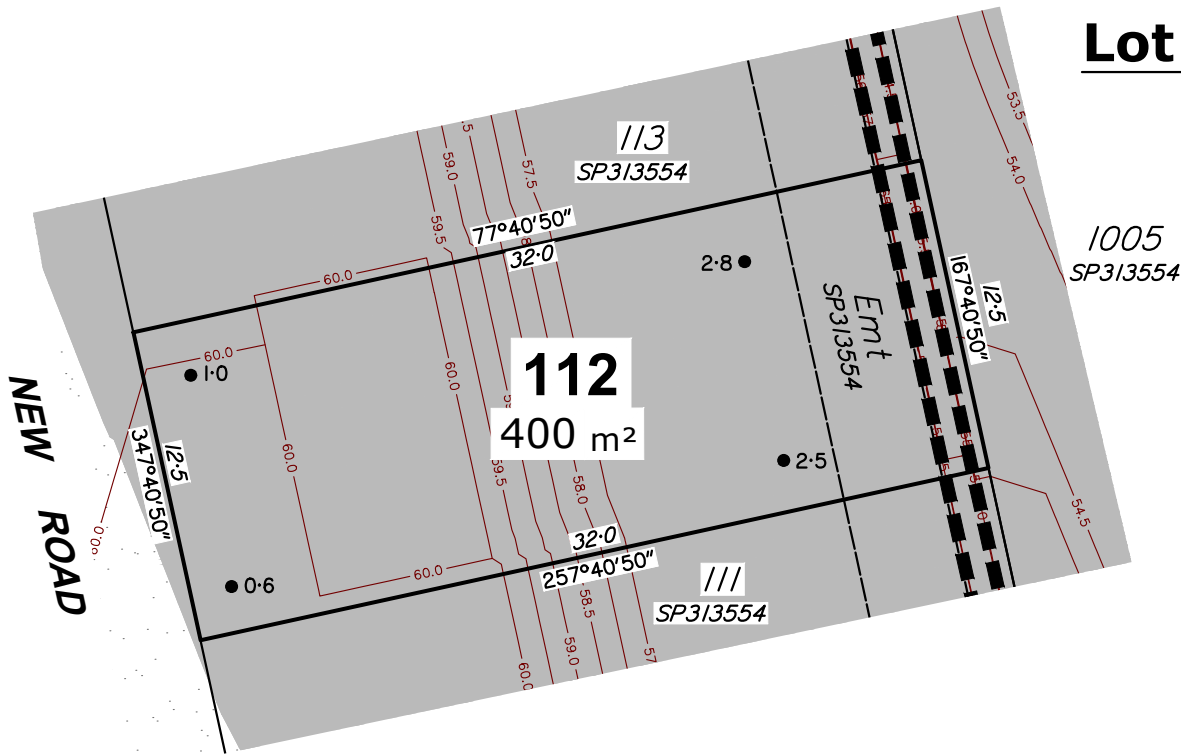
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 112



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.6	2.1	1.35

* Denotes two tier retaining wall

LEGEND

Approximate Cut Area Approximate Fill Area

24 Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).

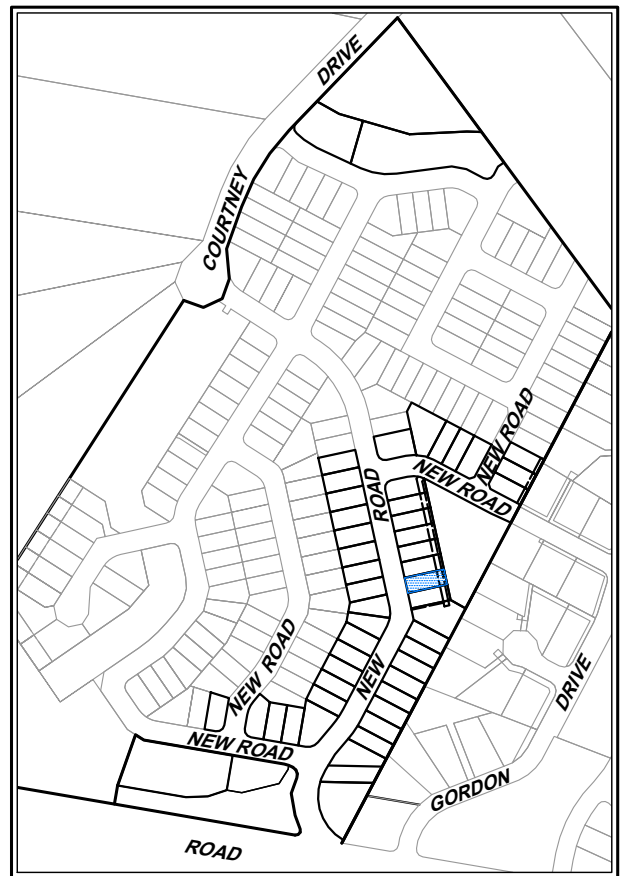
Denotes retaining wall

I-0 Denotes depth of fill

* Denotes two tier retaining wall

Notes:

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7. This plan shows details of Proposed Allotment 112 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

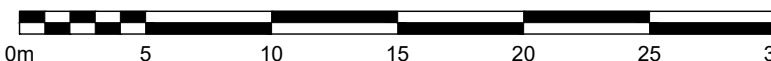


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 112 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

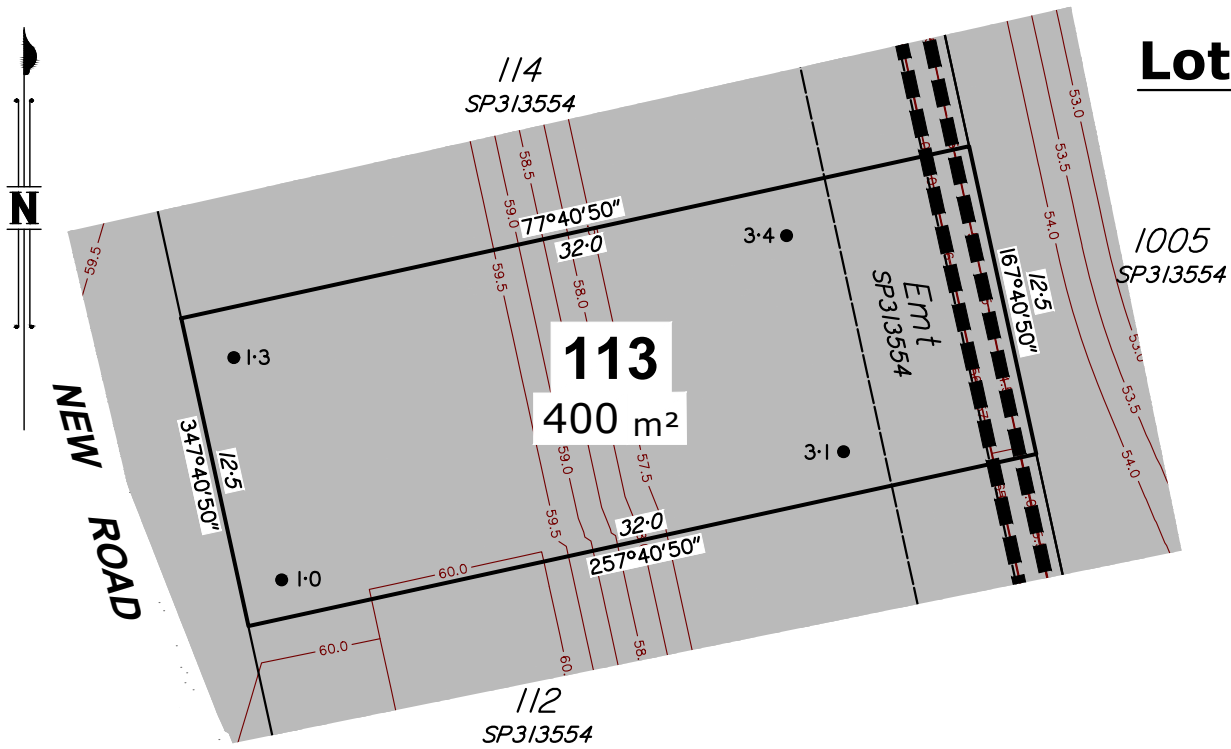
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 113



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	3.0	2.25

* Denotes two tier retaining wall

LEGEND

Approximate Cut Area Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).

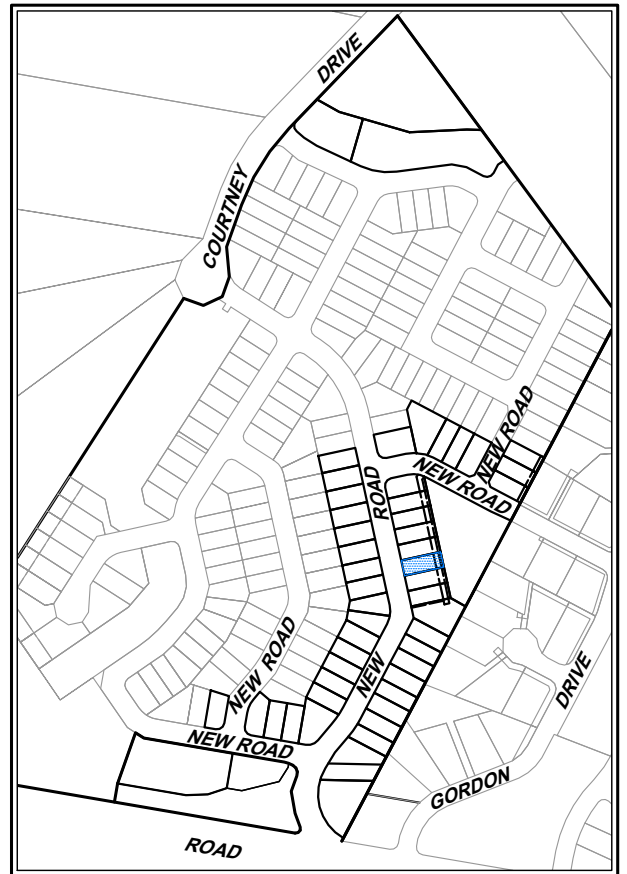
Denotes retaining wall

I-0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes:

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6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 113 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

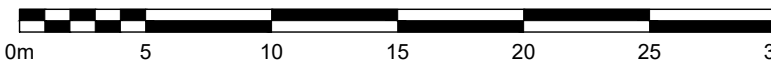


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 13 of 46



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mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services
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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 113 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

Comp File:

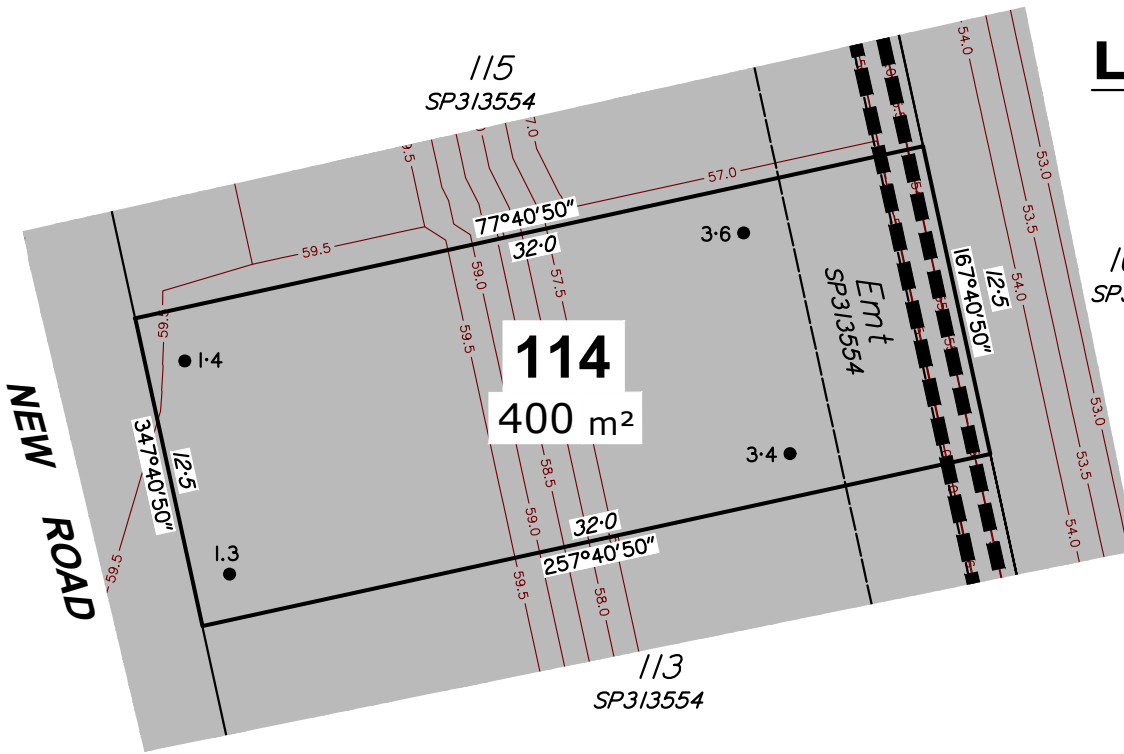
171101.project

Plan No:

171101_027_DIS

Lot 114

1005
SP313554



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	3.0	2.25

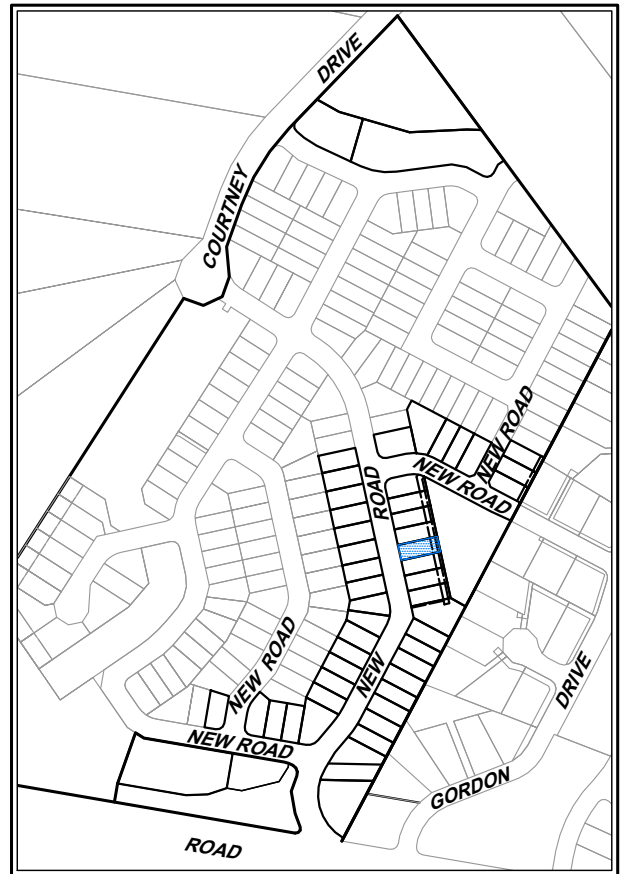
*

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- I·0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

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6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 114 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

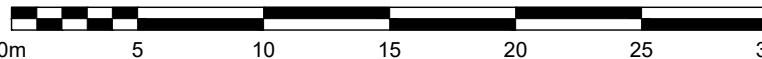


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 14 of 46



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Title:

Disclosure Plan for Lot 114 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

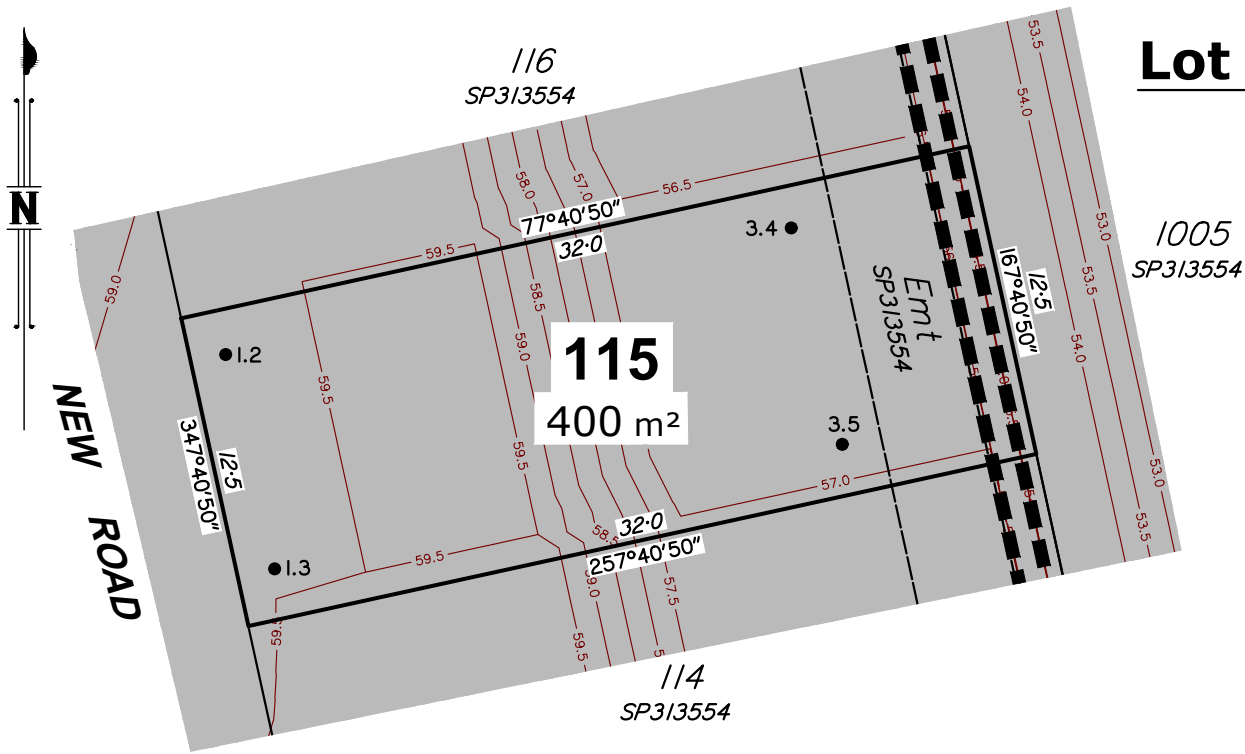
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 115



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.15	2.65	1.9

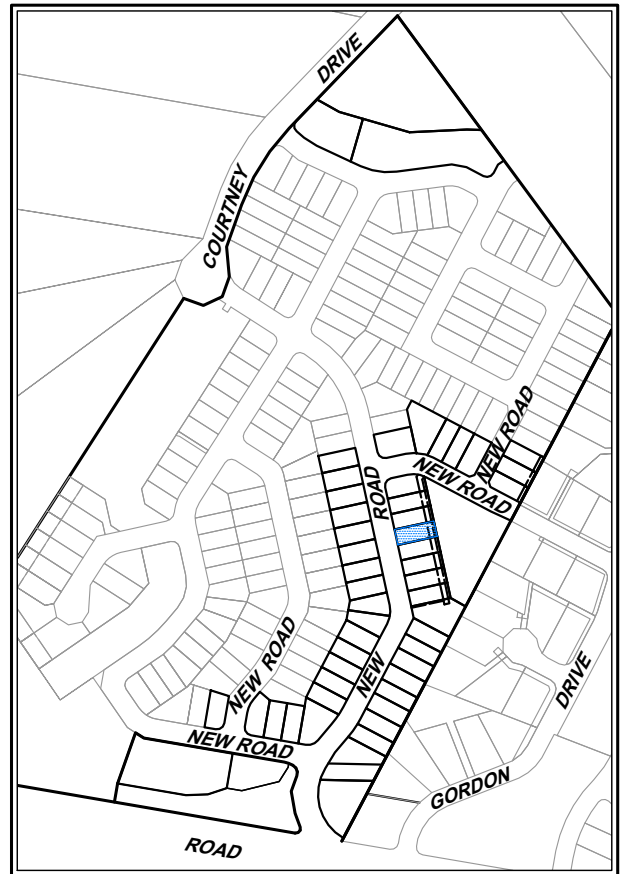
* Denotes two tier retaining wall

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

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7. This plan shows details of Proposed Allotment 115 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

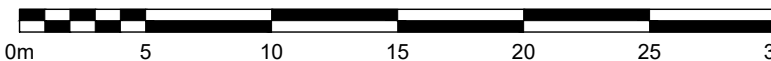


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 15 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 115 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

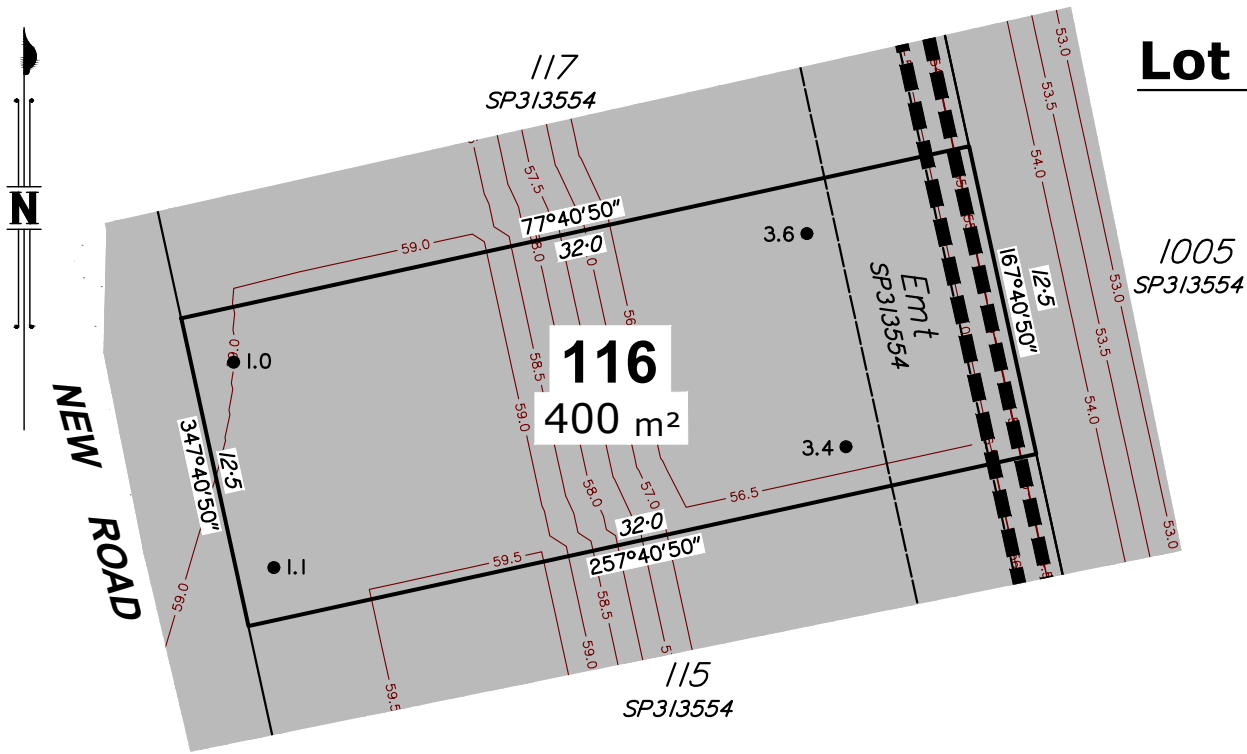
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 116



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.85	2.35	1.6

* Denotes two tier retaining wall

LEGEND

Approximate Cut Area Approximate Fill Area

24 — Design Contours

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).

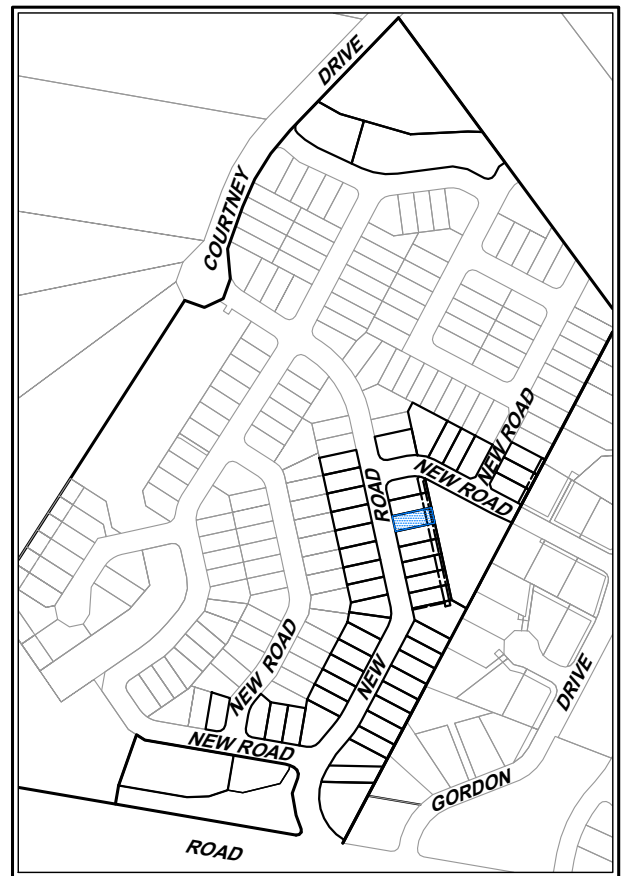
Denotes retaining wall

1.0 ● Denotes depth of fill

* Denotes two tier retaining wall

Notes:

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8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

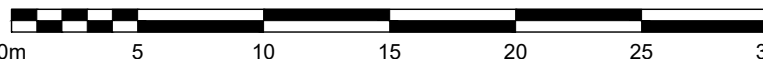


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 16 of 46



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mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 116 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

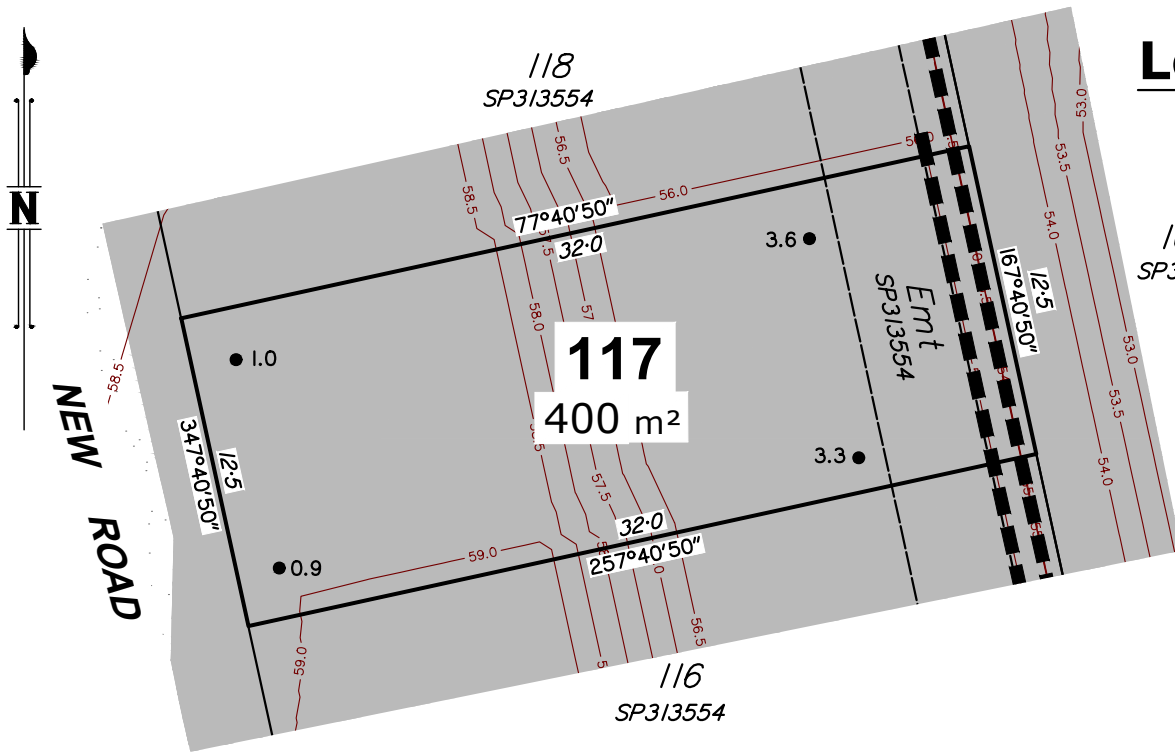
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 117



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.55	2.05	1.3

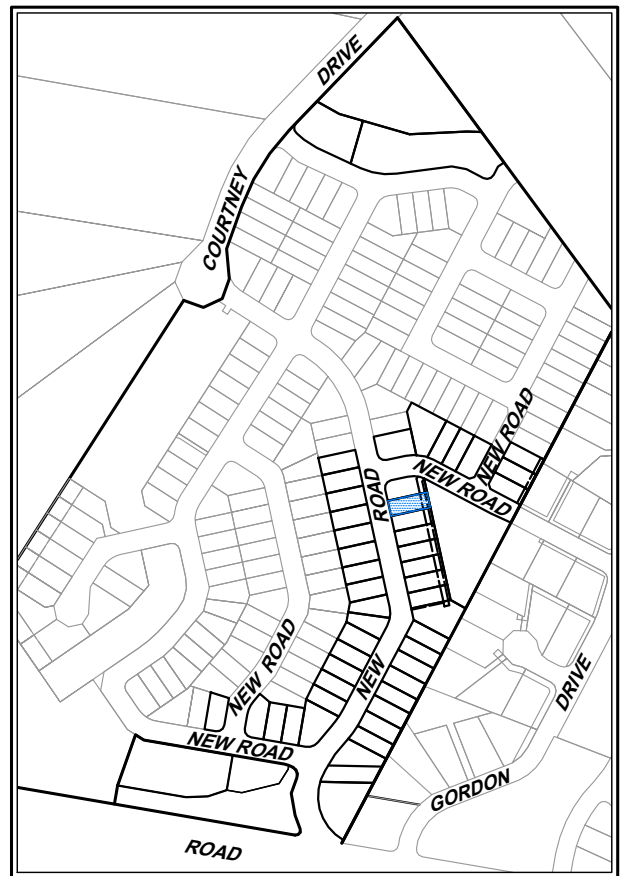
* Denotes two tier retaining wall

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- I-0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 117 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

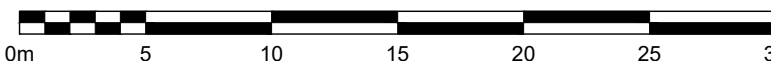


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 17 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 117 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

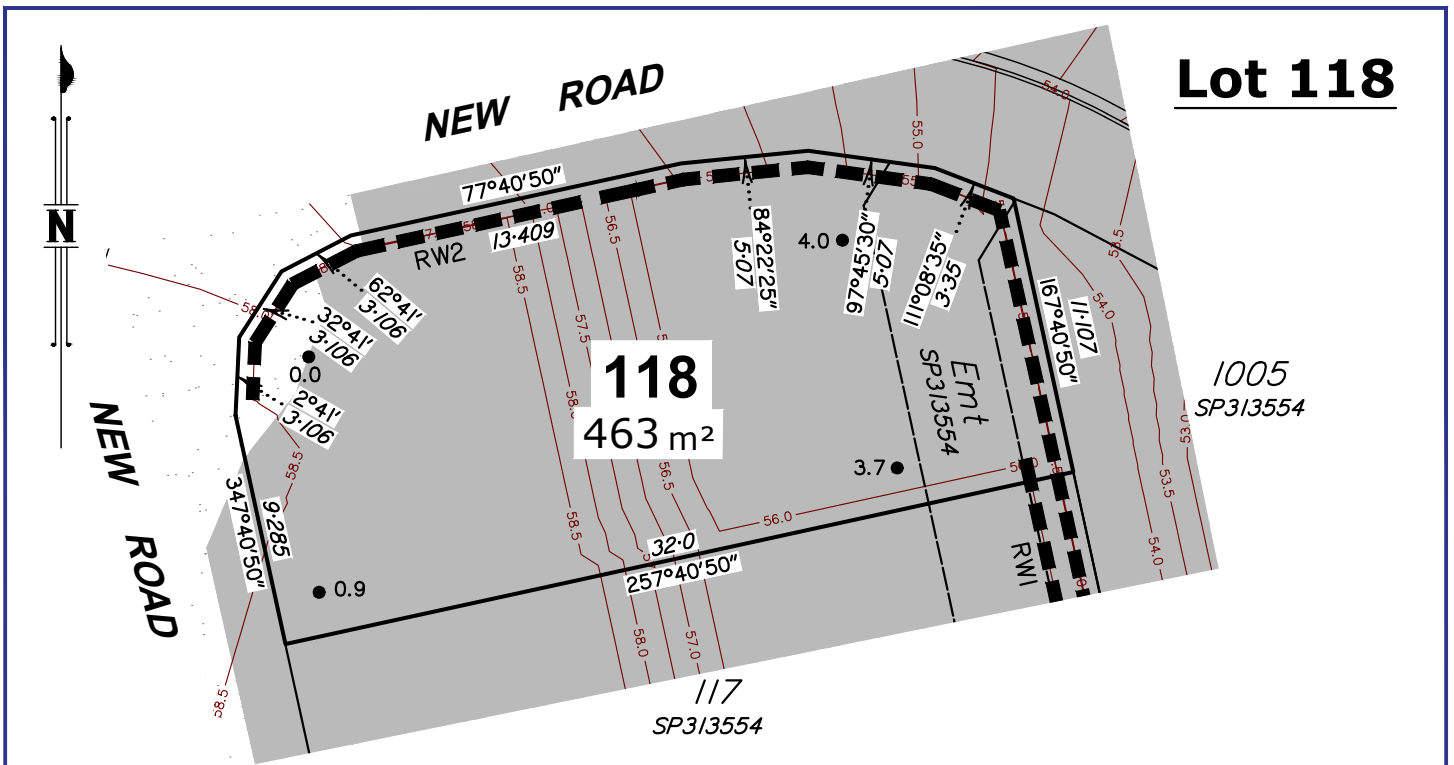
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 118



Retaining Wall Heights

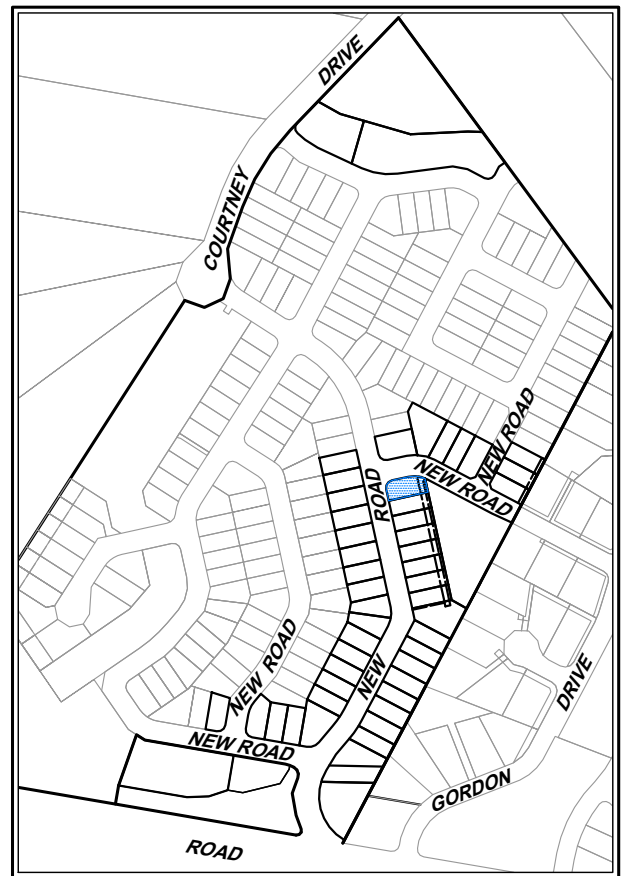
	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
*	0.55	2.05	1.3	RW1
	0.4	1.5	0.95	RW2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Allotment 118 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

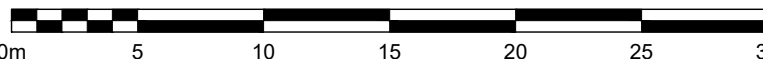


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 18 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 118 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021 Scale: 1:300

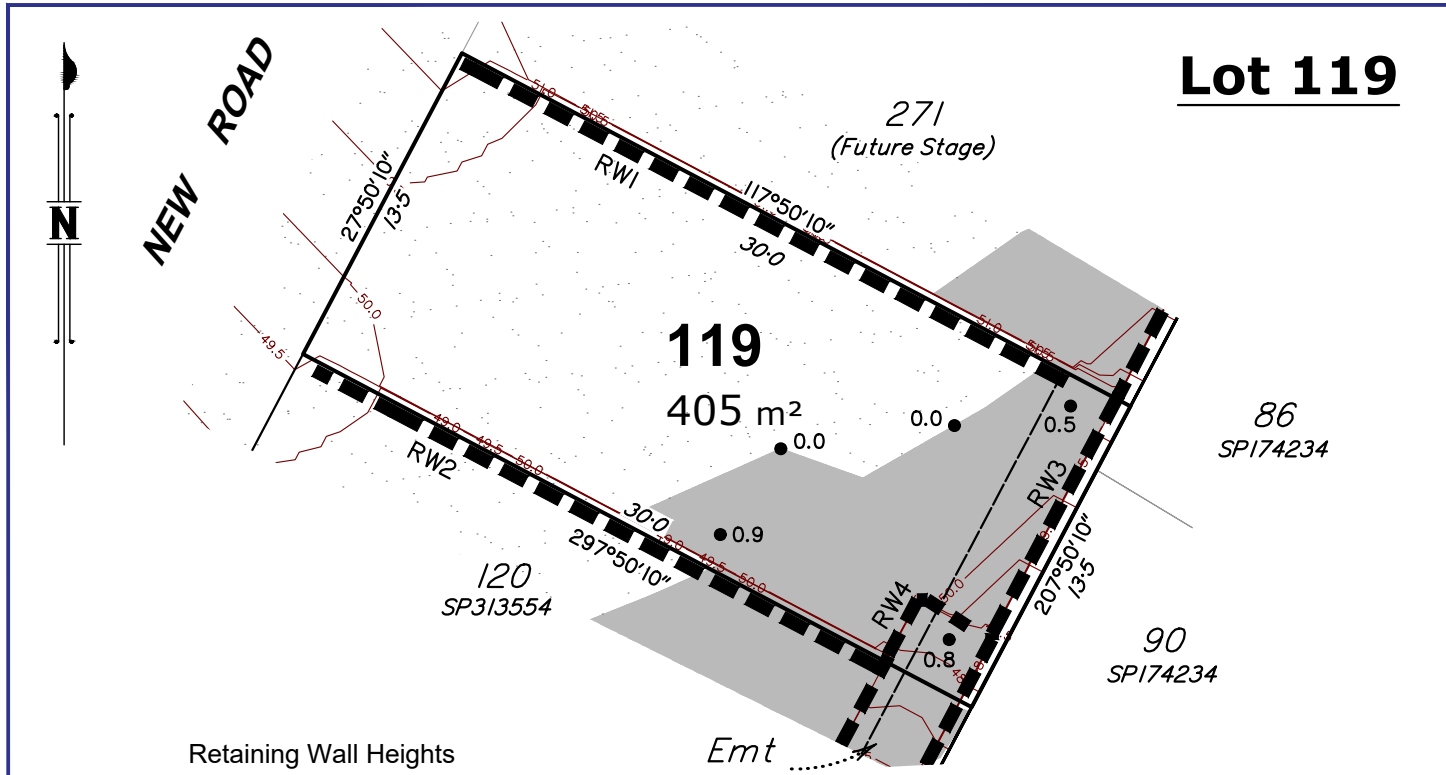
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 119



Retaining Wall Heights

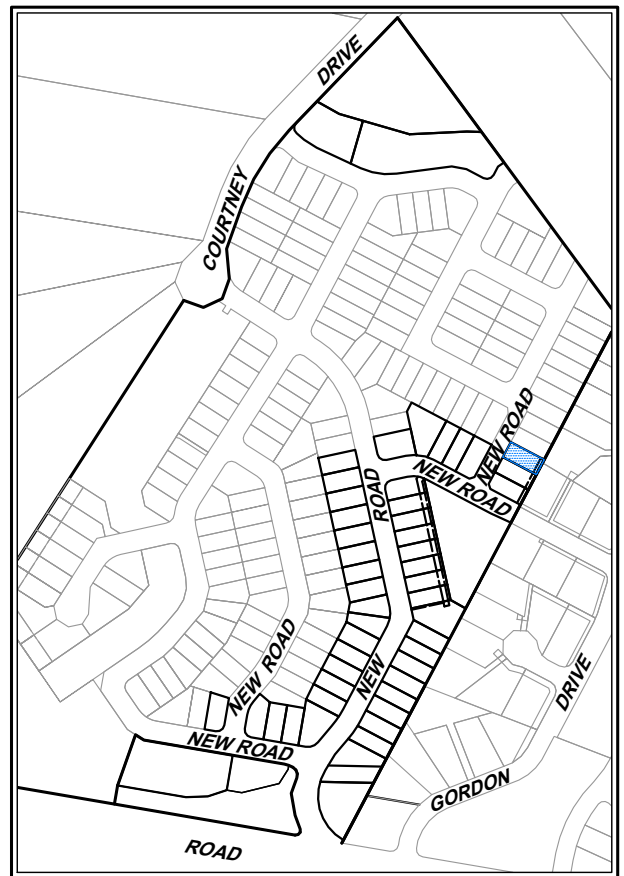
MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.5	1.5	1.5	RW1
1.5	1.5	1.5	RW2
1.5	1.5	1.5	RW3
* 1.5	3.0	2.25	RW4

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 119 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

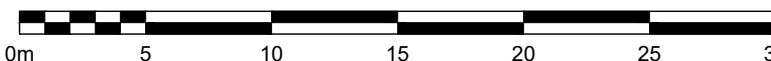


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 19 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 119 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

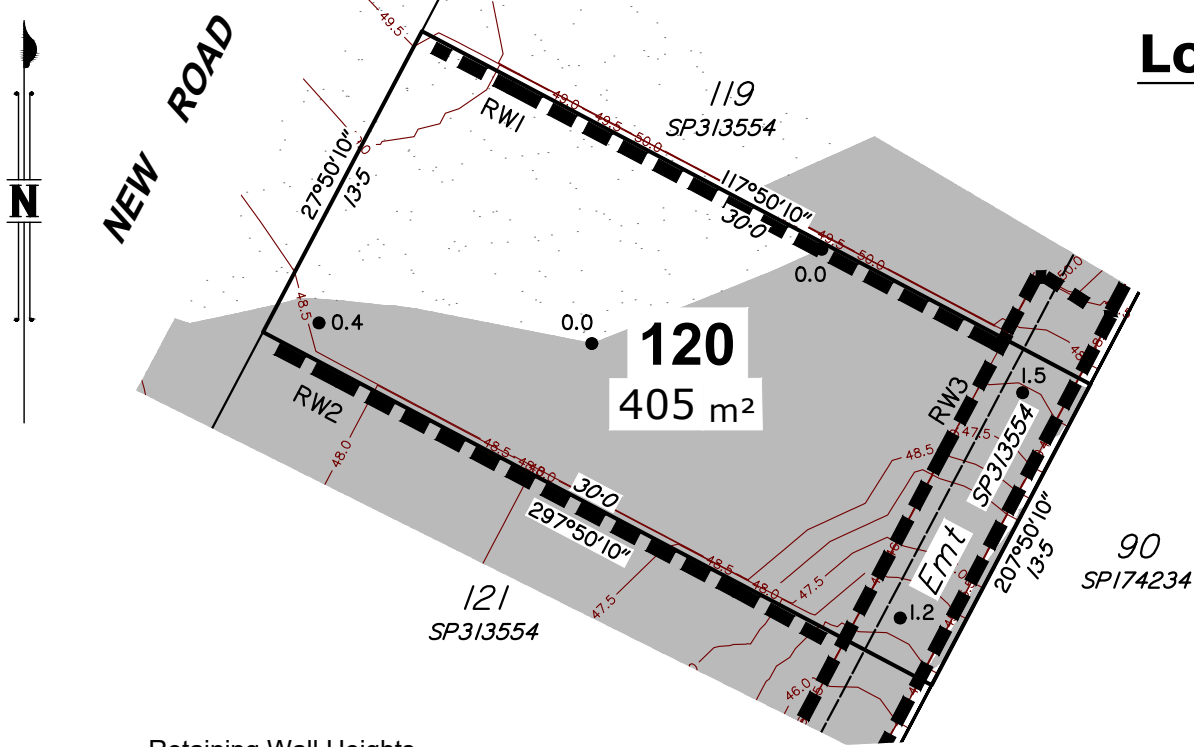
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 120



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.5	1.5	1.5	RW1
0.7	0.7	0.7	RW2
1.5	3.0	2.25	RW3

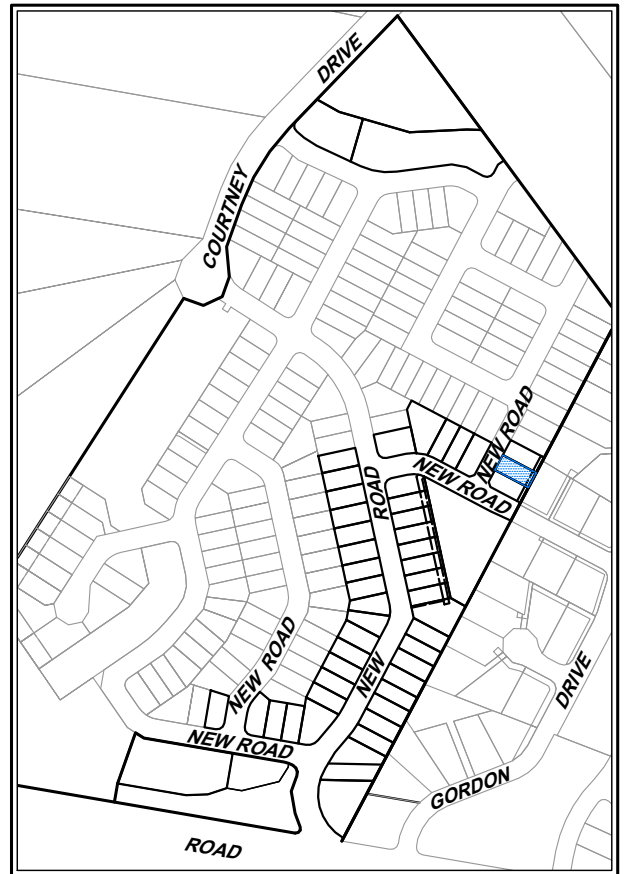
*

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 120 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

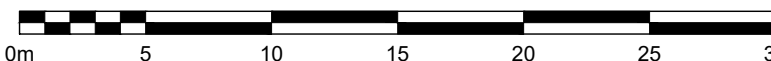


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 20 of 46



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Surveying, Town Planning & Spatial Services
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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 120 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

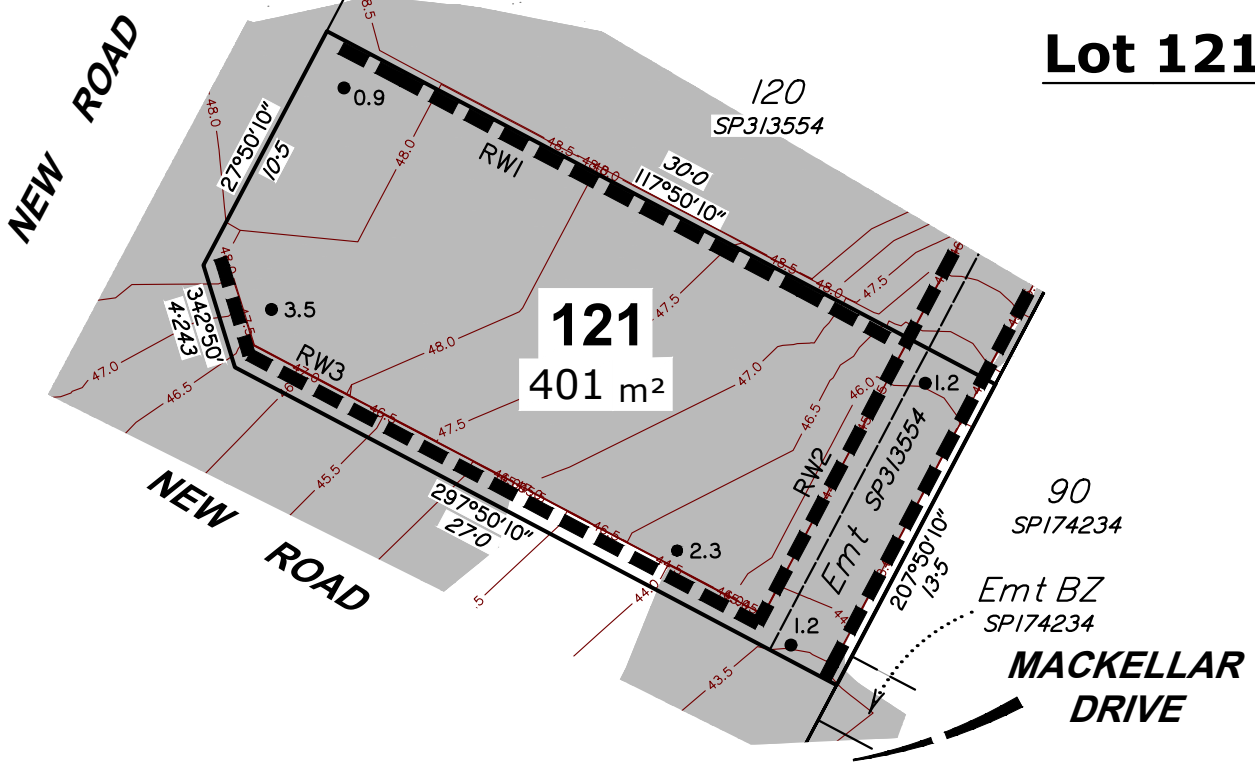
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 121



Retaining Wall Heights

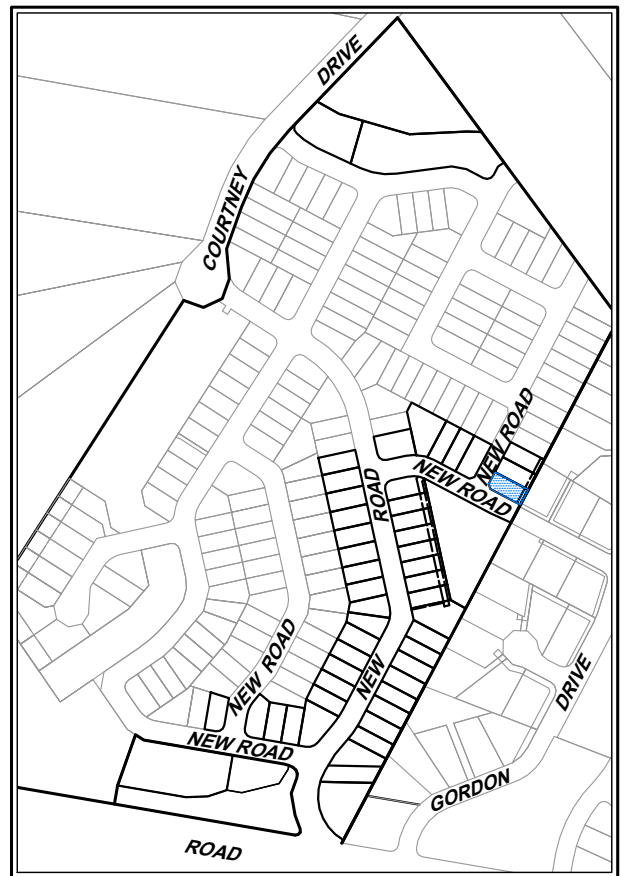
MINIMUM	MAXIMUM	AVERAGE HEIGHT
0.7	0.7	0.7
1.5	3.0	2.25
1.5	1.5	1.5

* RW1
RW2
RW3

* Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 121 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

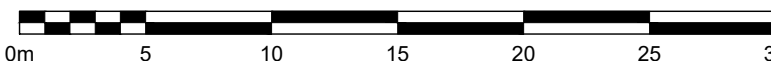


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 21 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 121 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

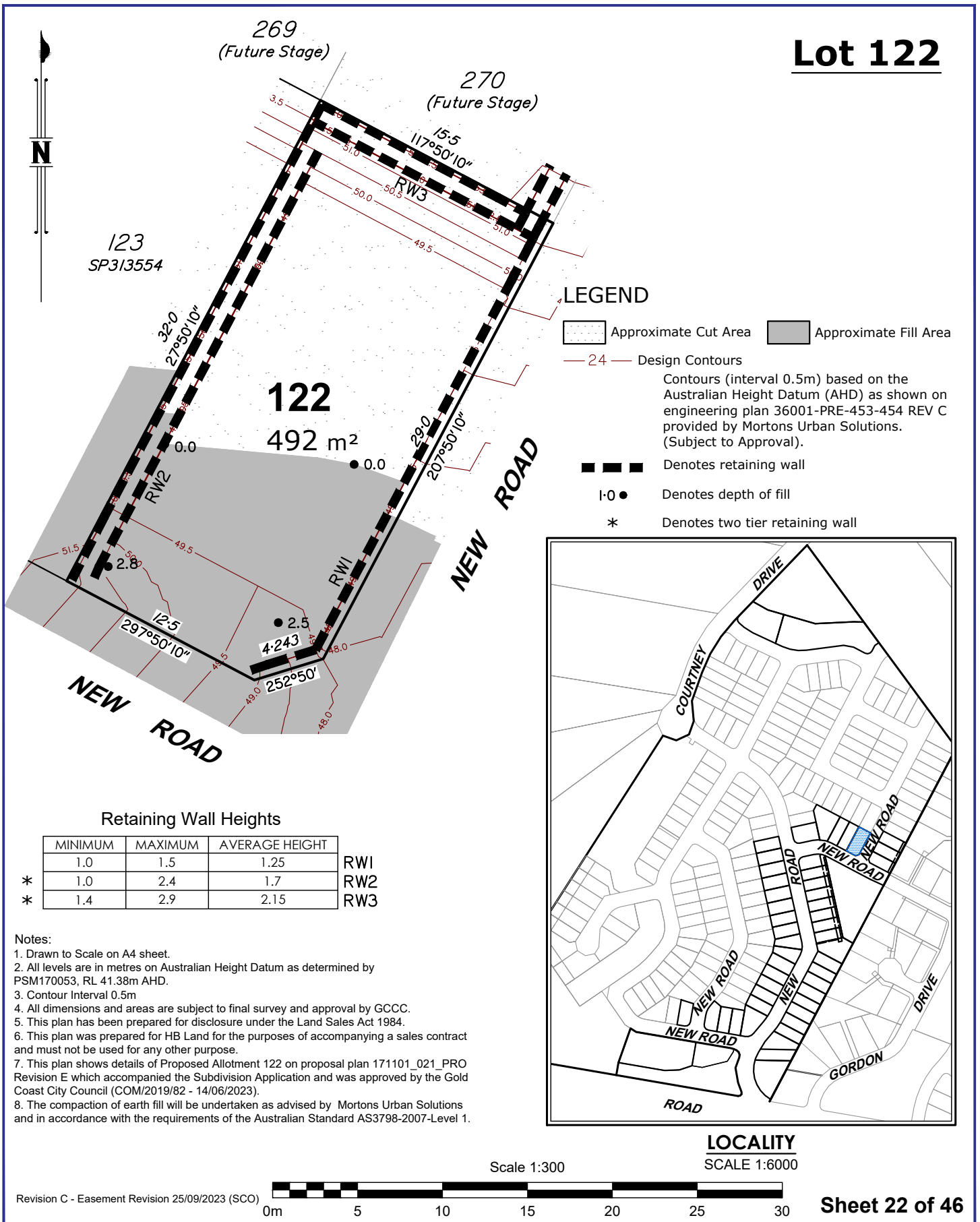
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 122



LEGEND

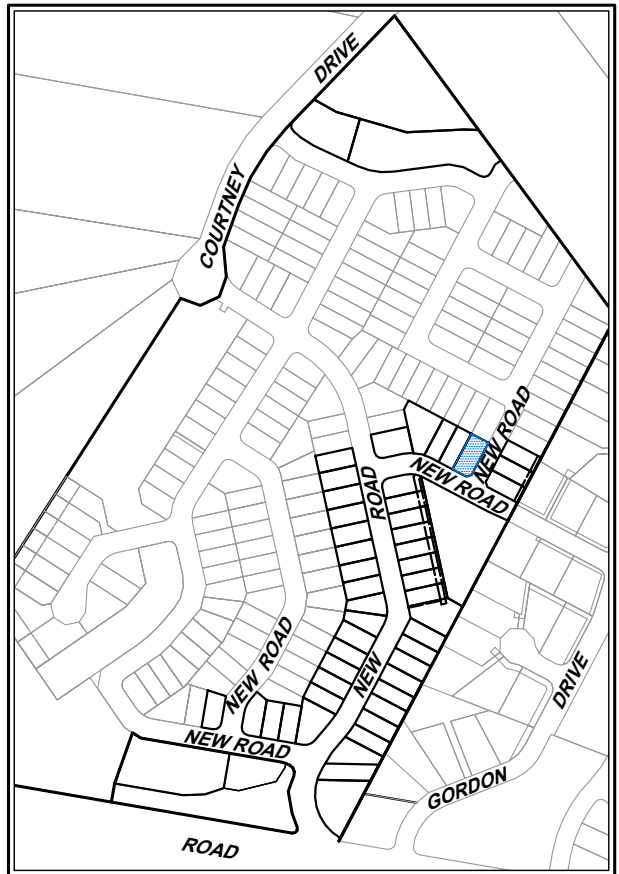
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- - - - Denotes retaining wall
- |·0 Denotes depth of fill
- * Denotes two tier retaining wall

Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT	
	1.0	1.5	1.25	RW1
*	1.0	2.4	1.7	RW2
*	1.4	2.9	2.15	RW3

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 122 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

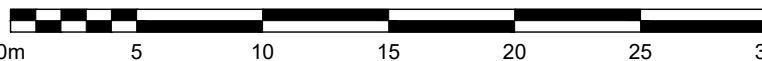


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 22 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 122 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

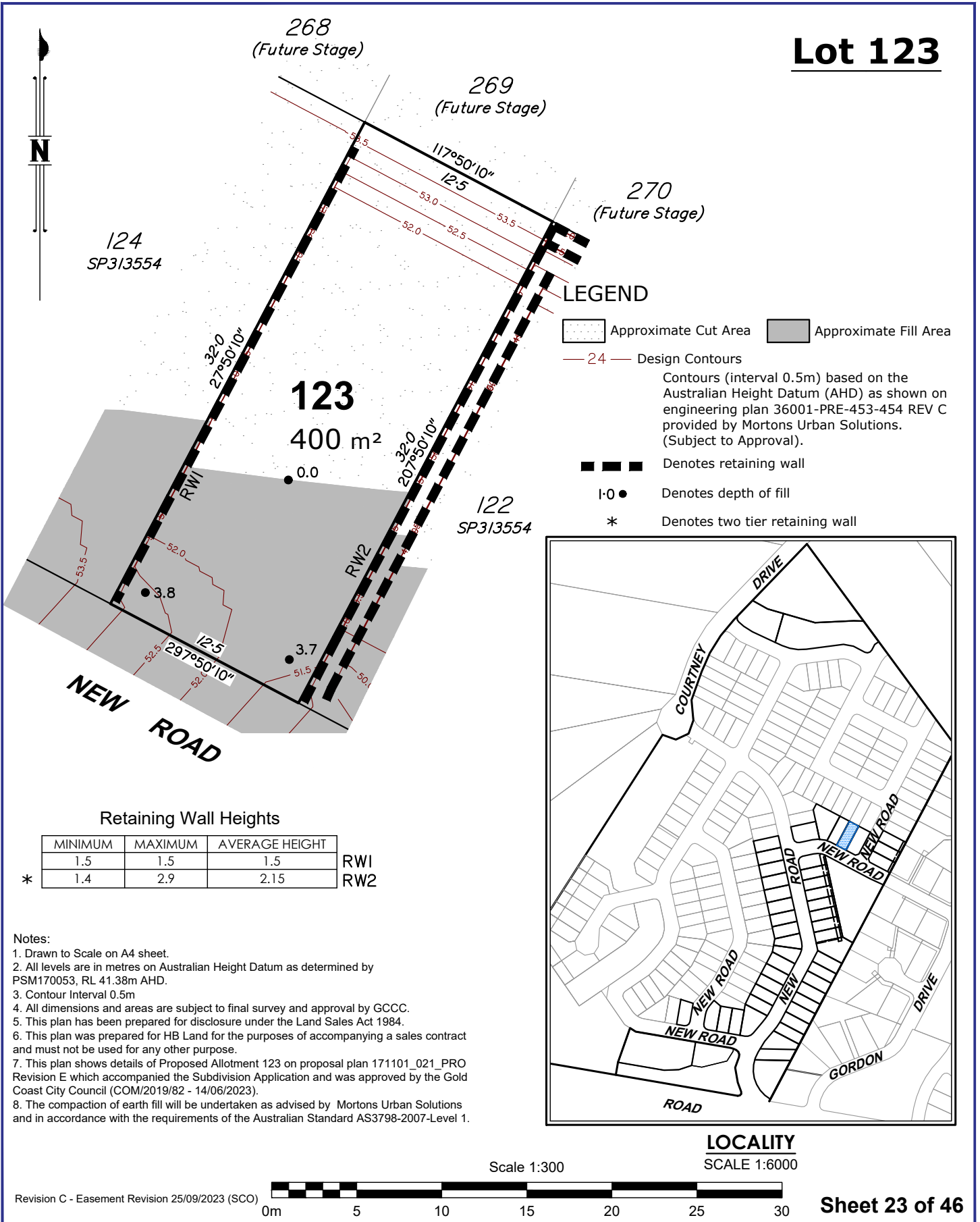
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 123

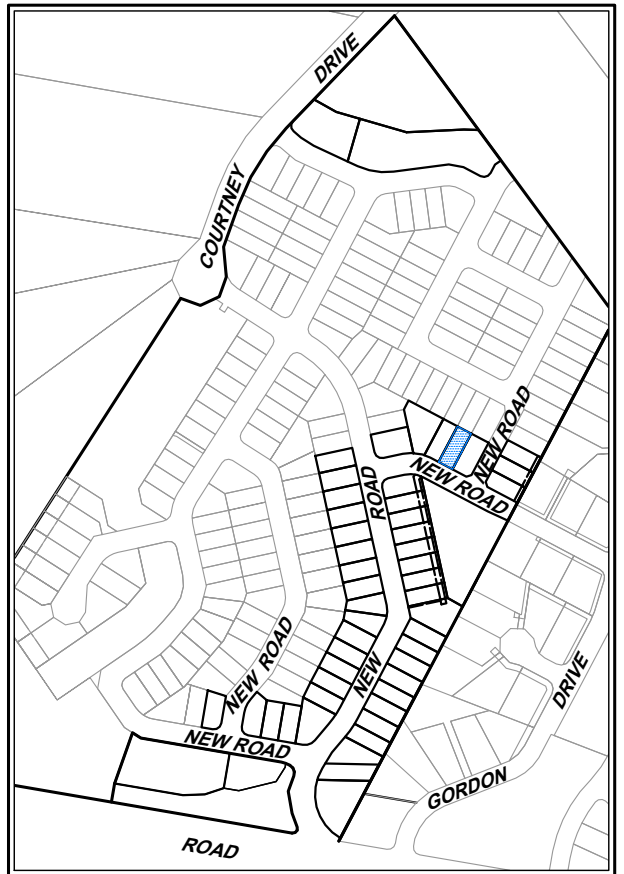


Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.5	1.5	1.5	RW1
1.4	2.9	2.15	RW2

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 123 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

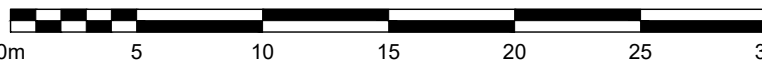


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 23 of 46



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GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 123 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

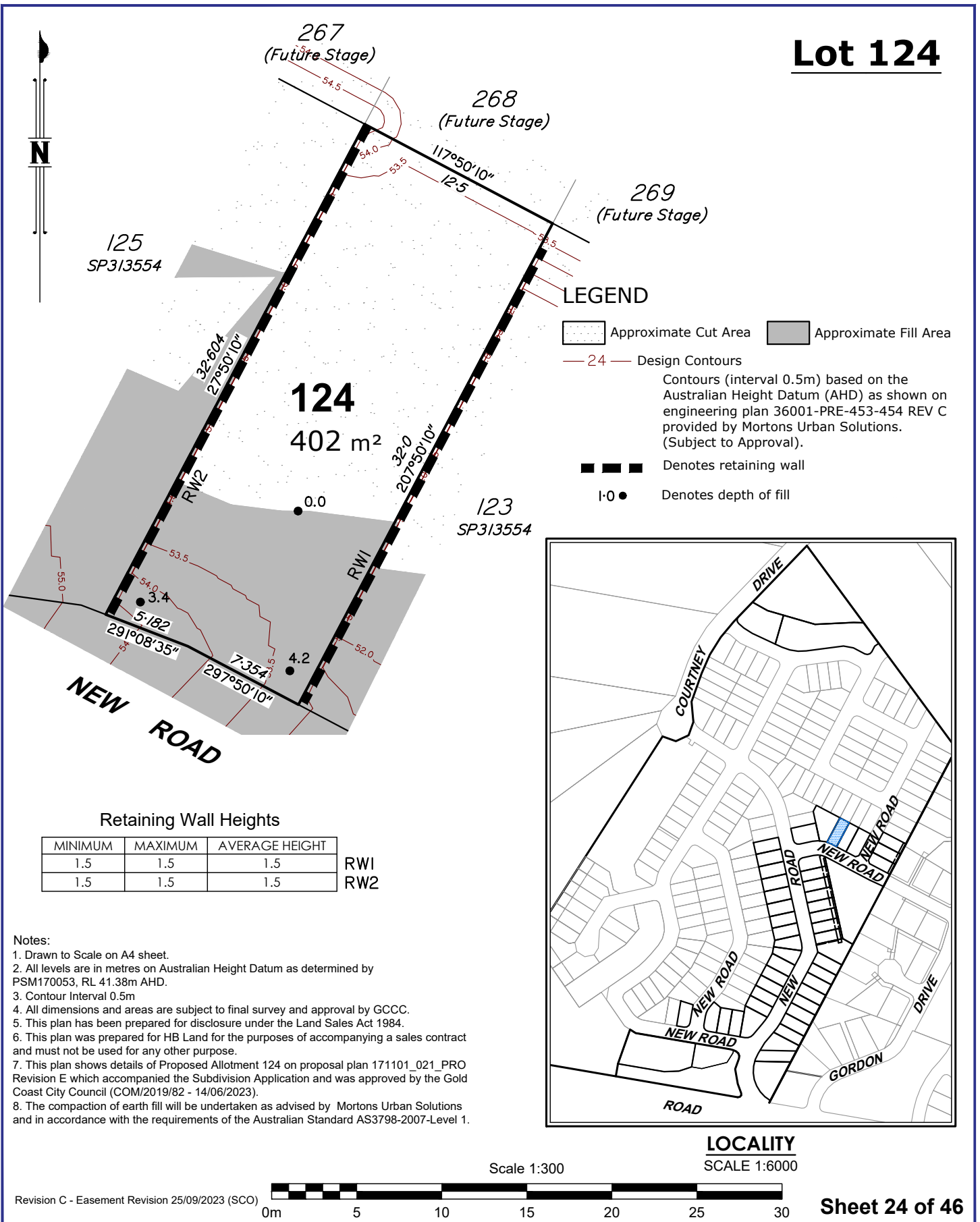
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 124



Sheet 24 of 46



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www.bennettandbennett.com.au

Title:

**Disclosure Plan for
Lot 124 on SP313554**
Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

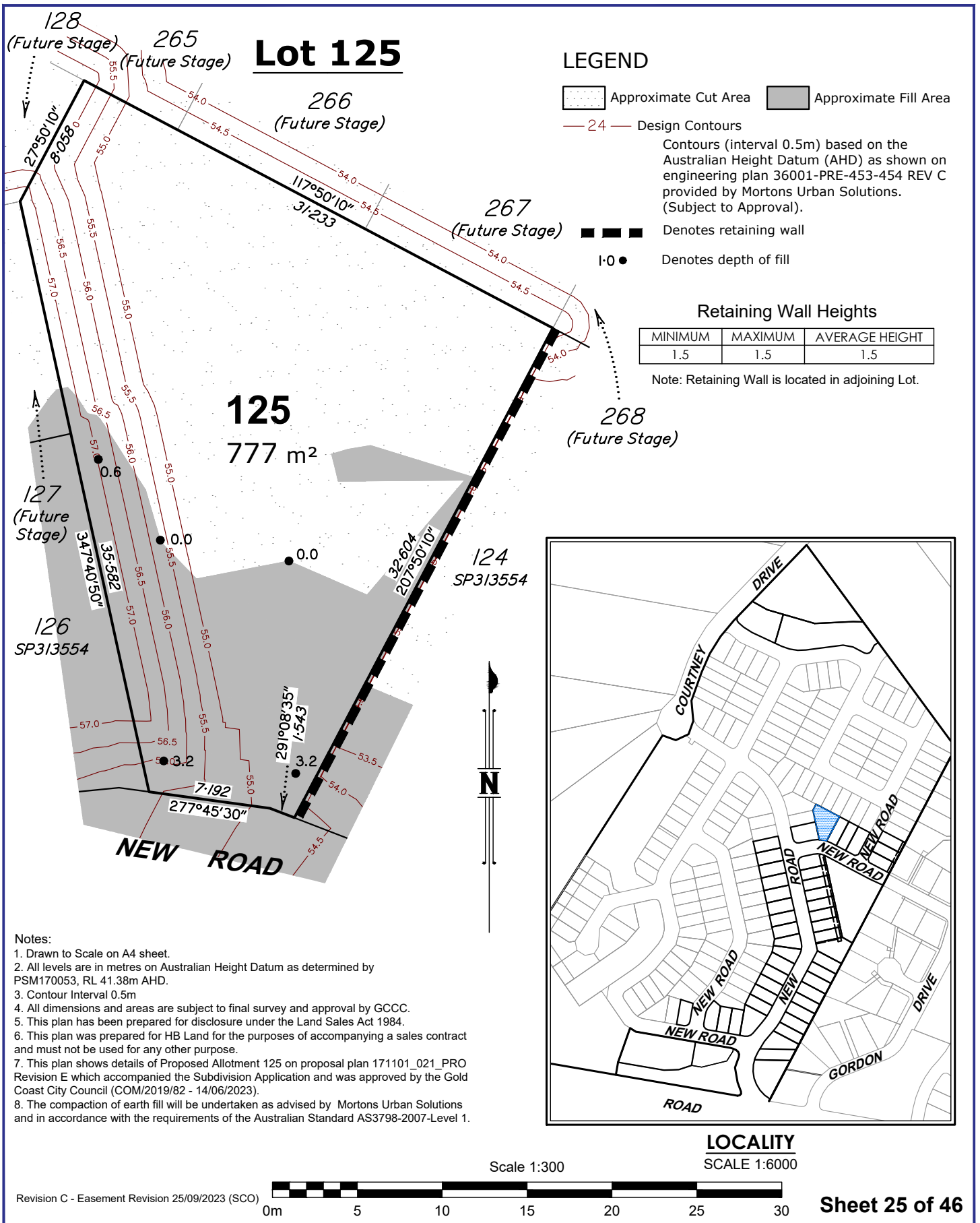
Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS



LEGEND

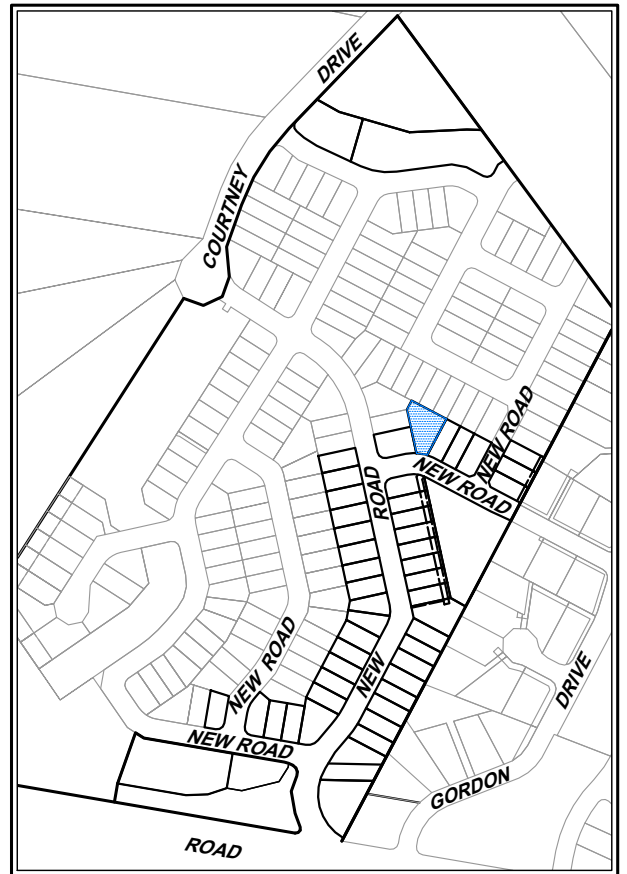
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

Note: Retaining Wall is located in adjoining Lot.



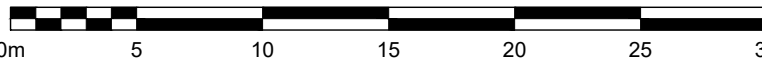
LOCALITY

SCALE 1:6000

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 125 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Revision C - Easement Revision 25/09/2023 (SCO)



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Ph: (07) 5631 8000
mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 125 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

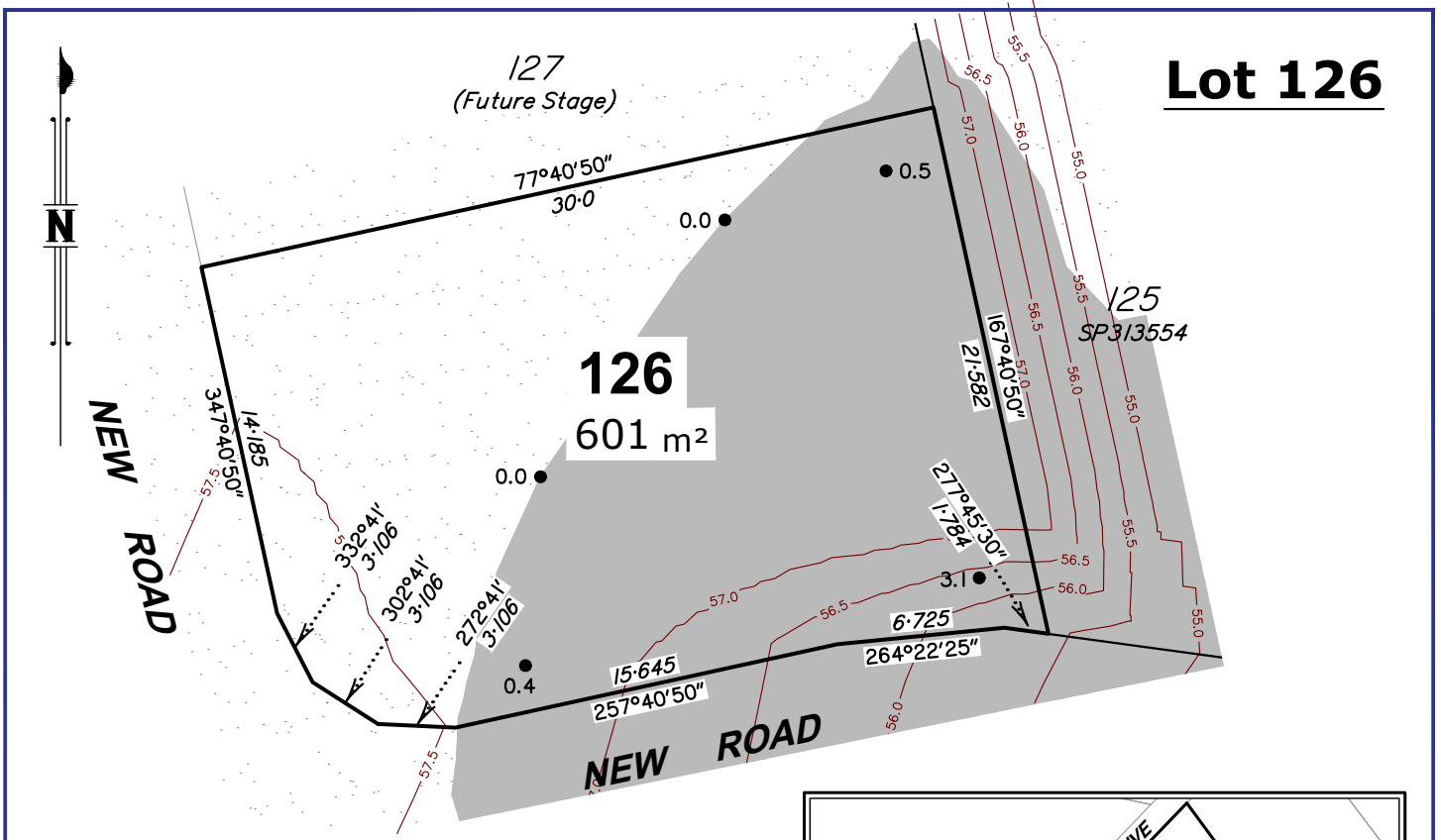
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 126

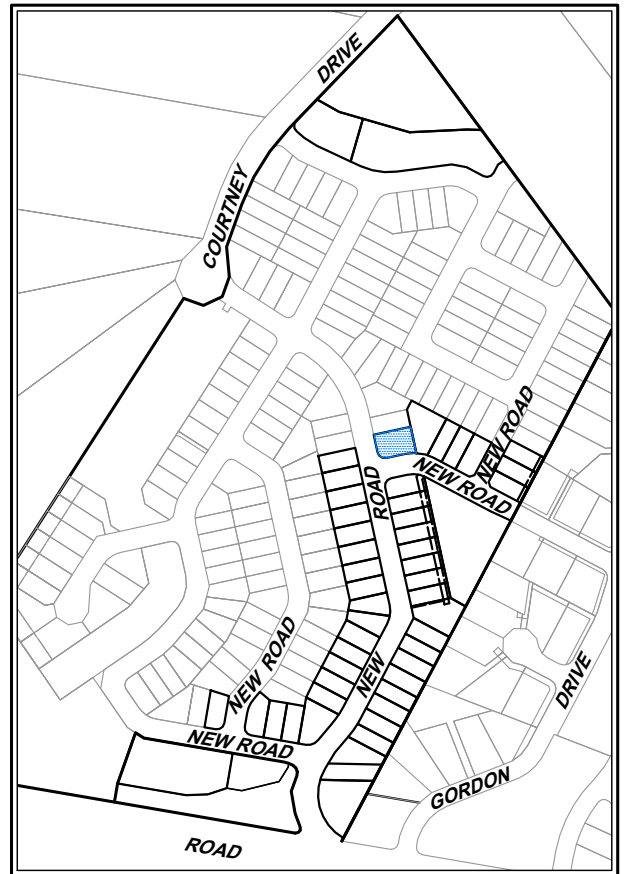


LEGEND

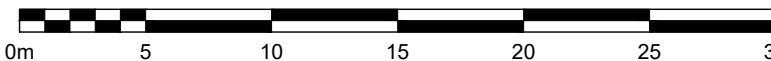
- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 126 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



Revision C - Easement Revision 25/09/2023 (SCO)



Scale 1:300

LOCALITY
SCALE 1:6000

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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 126 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

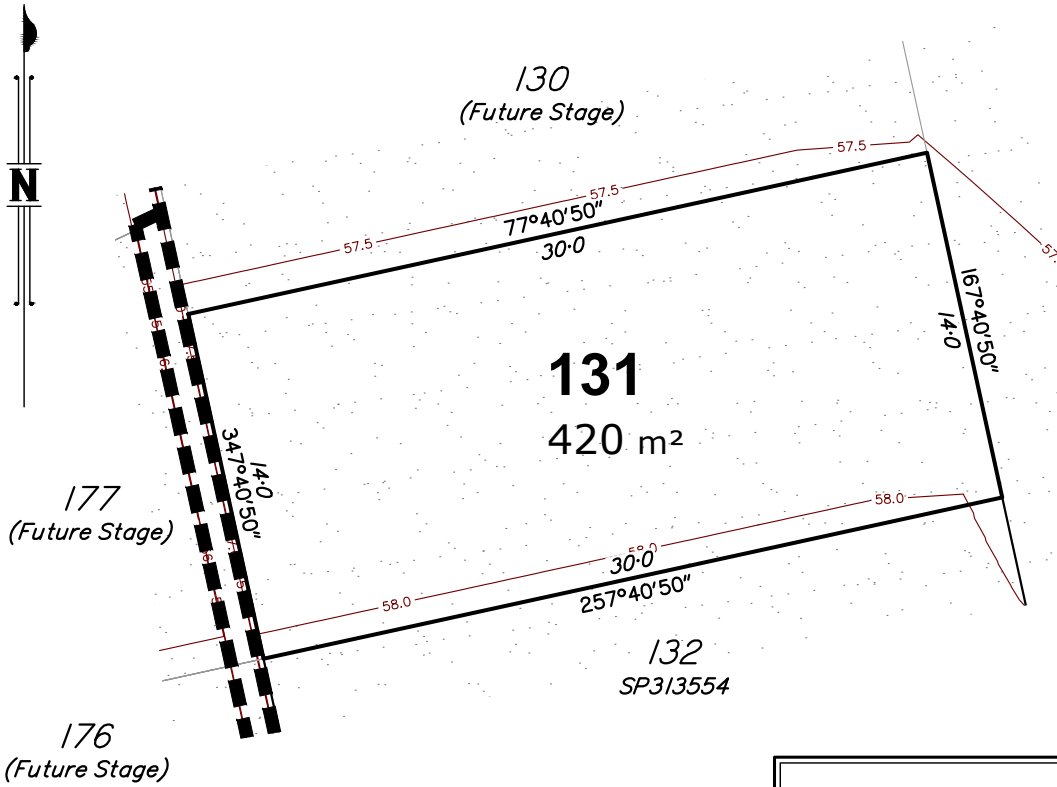
08/11/2021 Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS



Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT
*	1.1	2.6	1.85

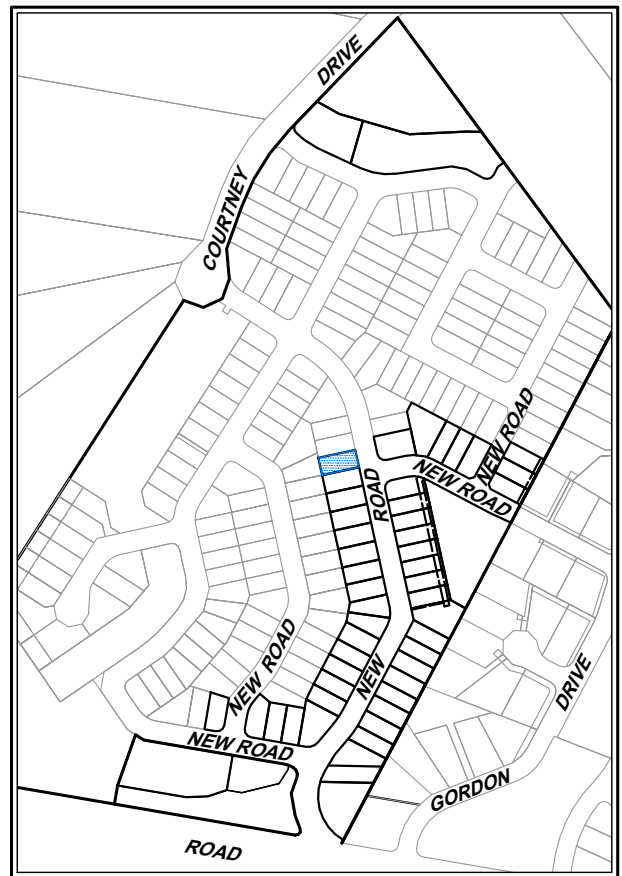
Note: Retaining Wall is located in adjoining Lot.

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 131 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

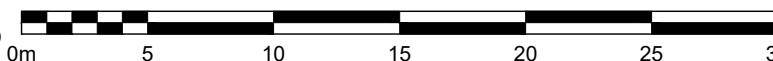


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 131 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

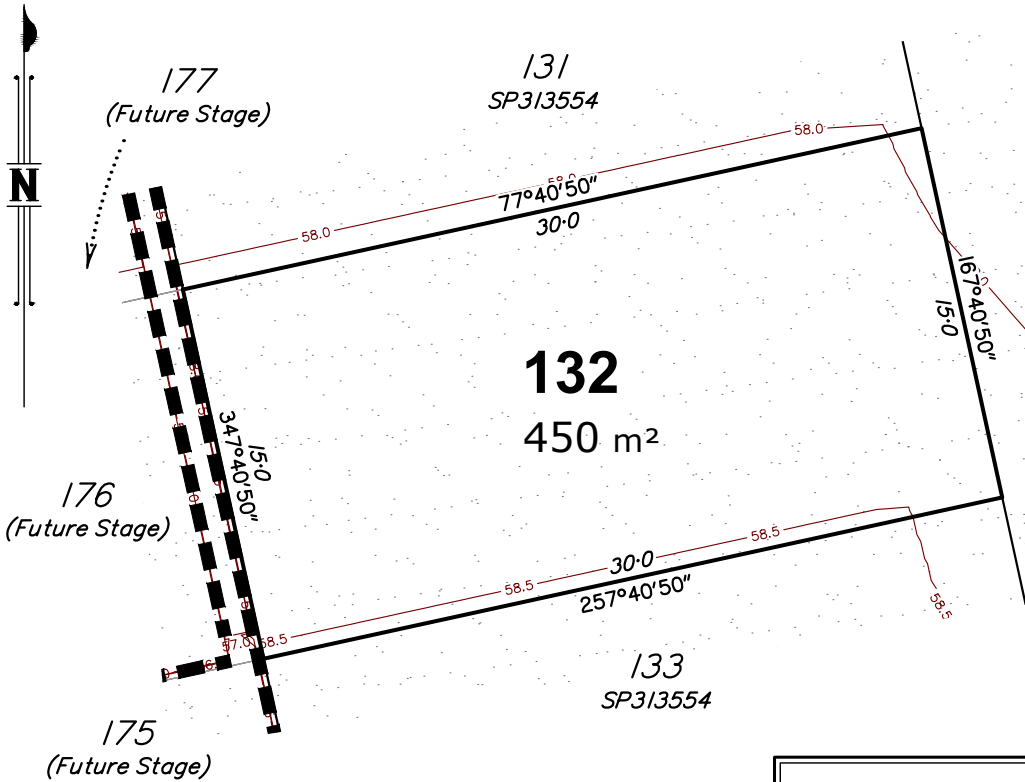
Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS



Retaining Wall Heights

	MINIMUM	MAXIMUM	AVERAGE HEIGHT
*	0.8	2.3	1.55

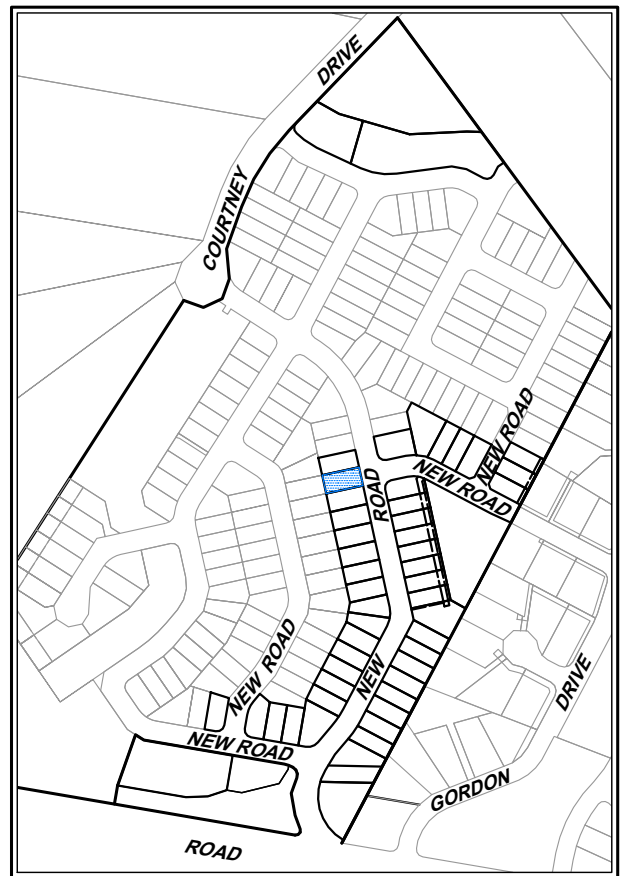
Note: Retaining Wall is located in adjoining Lot.

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 132 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

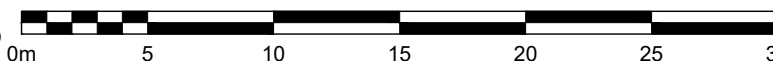


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 28 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 132 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

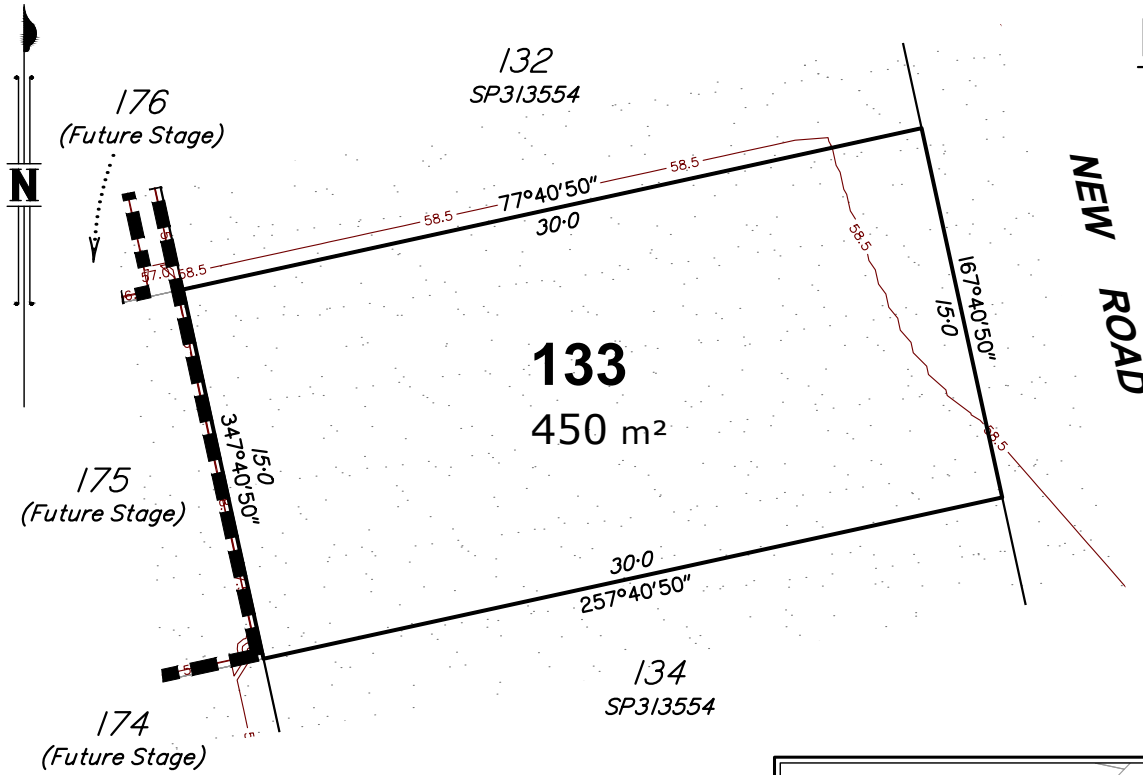
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 133



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.4	1.4	1.4

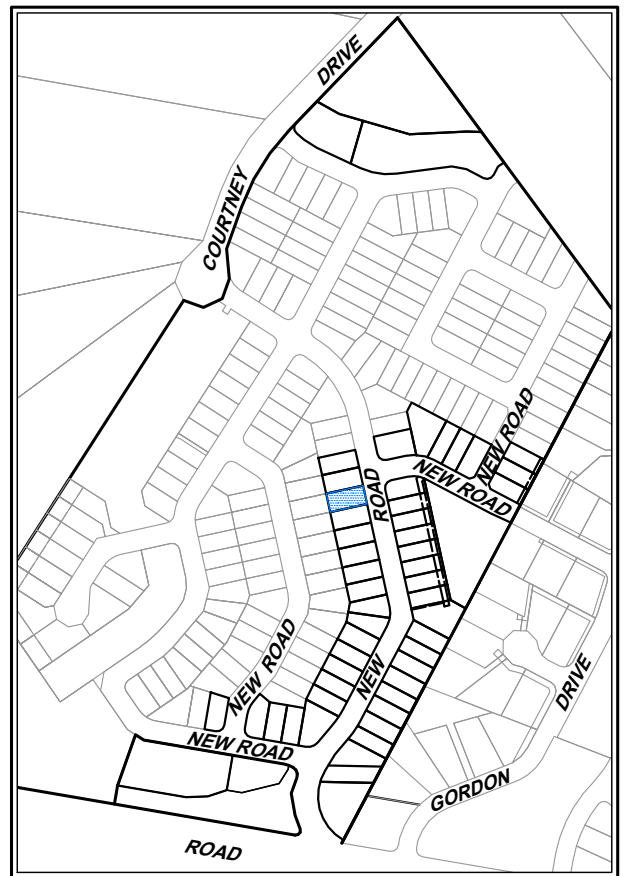
Note: Retaining Wall is located in adjoining Lot.

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 133 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

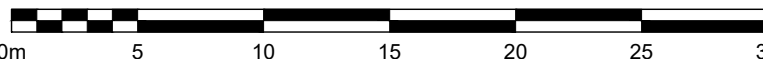


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 29 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 133 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

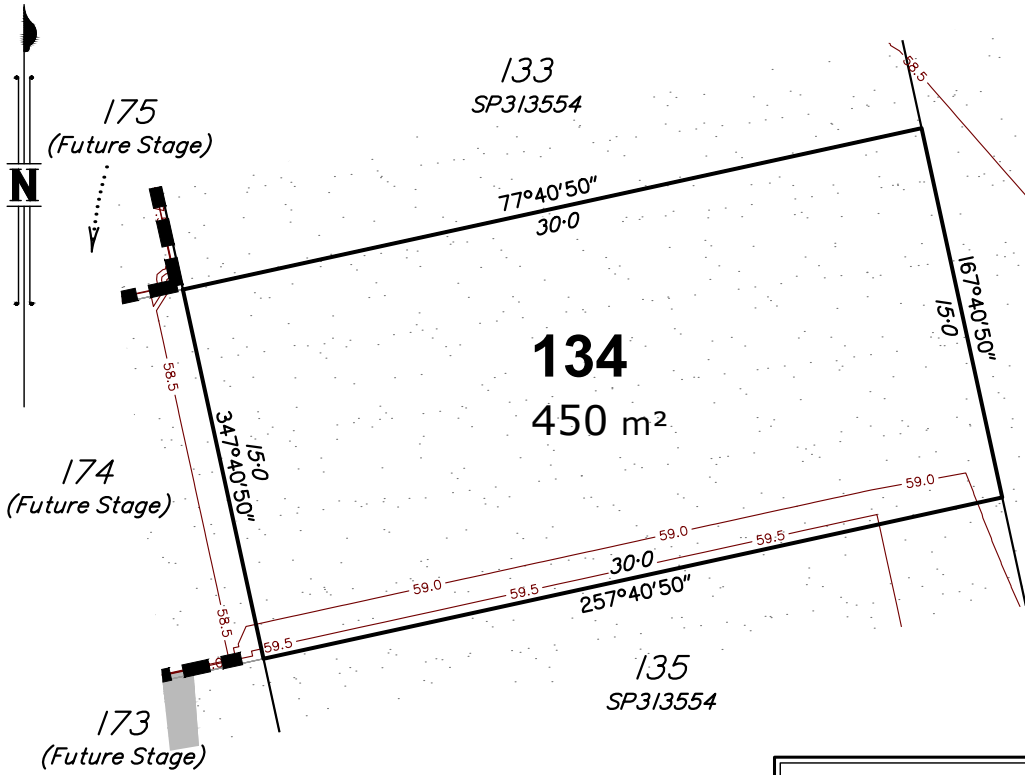
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 134

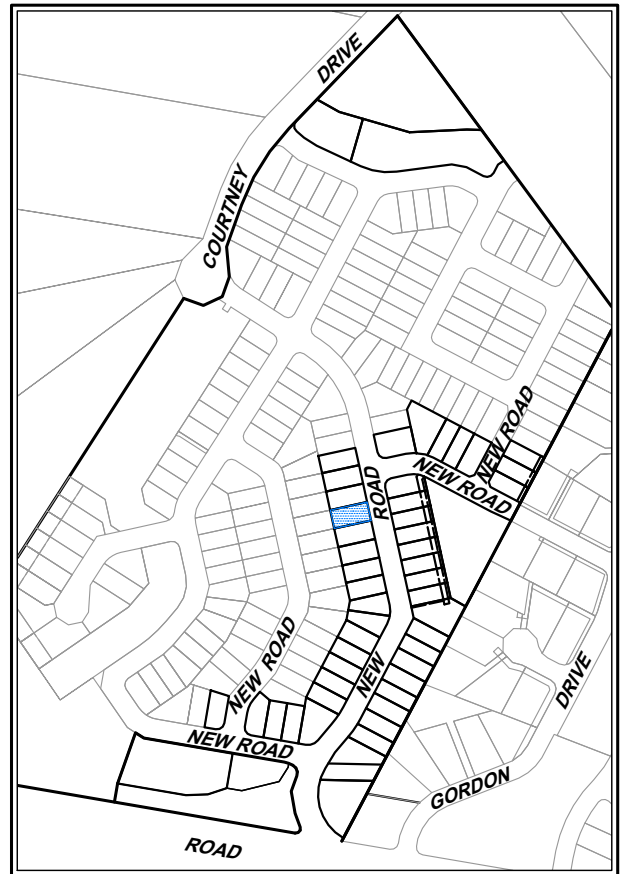


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 134 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

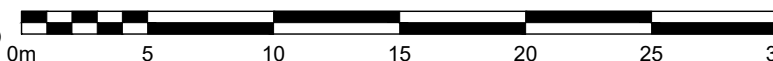


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 30 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 134 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

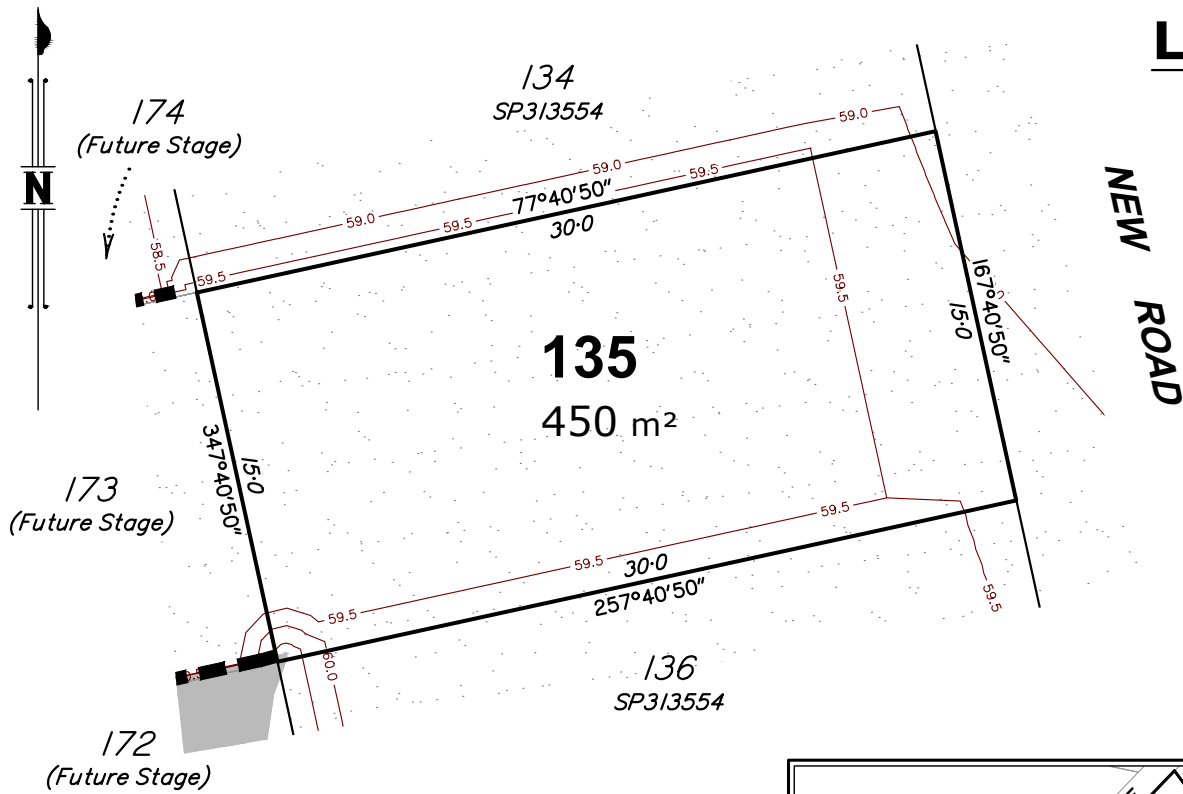
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 135

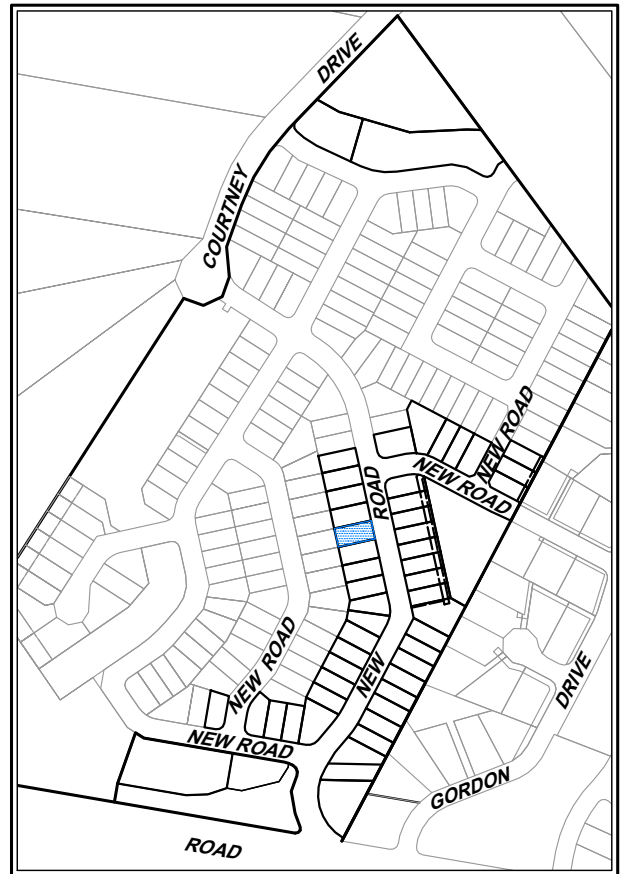


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 135 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

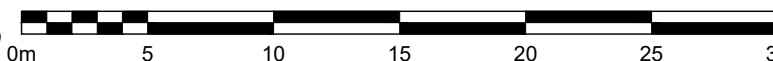


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 135 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

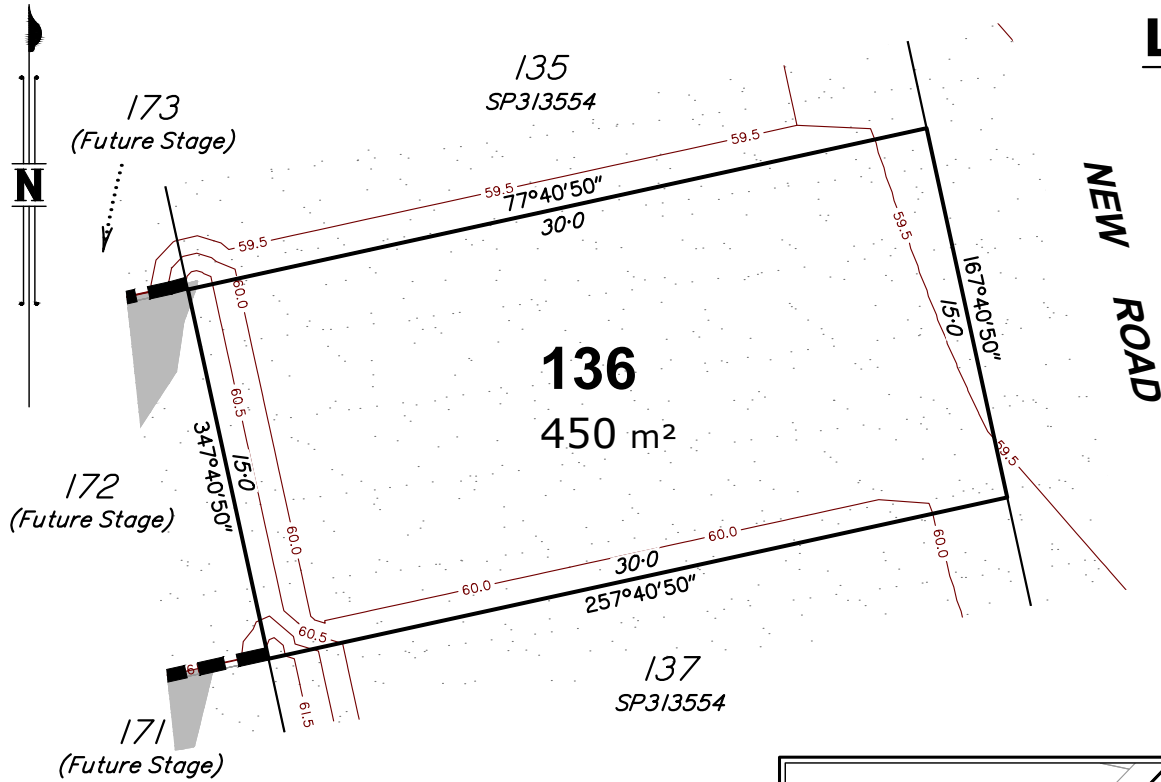
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 136

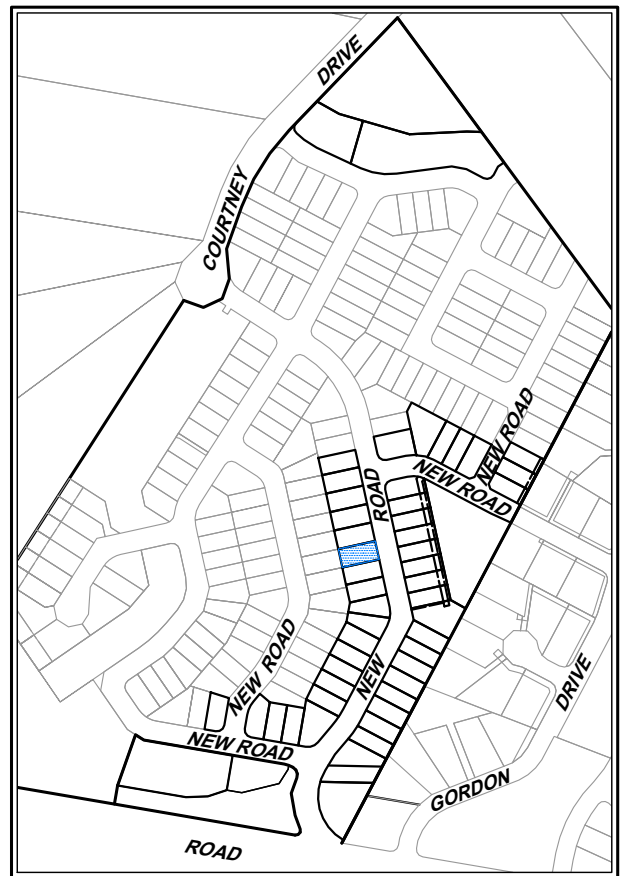


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 136 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

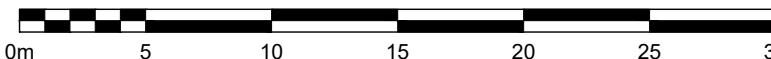


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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Surveying, Town Planning & Spatial Services
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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 136 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

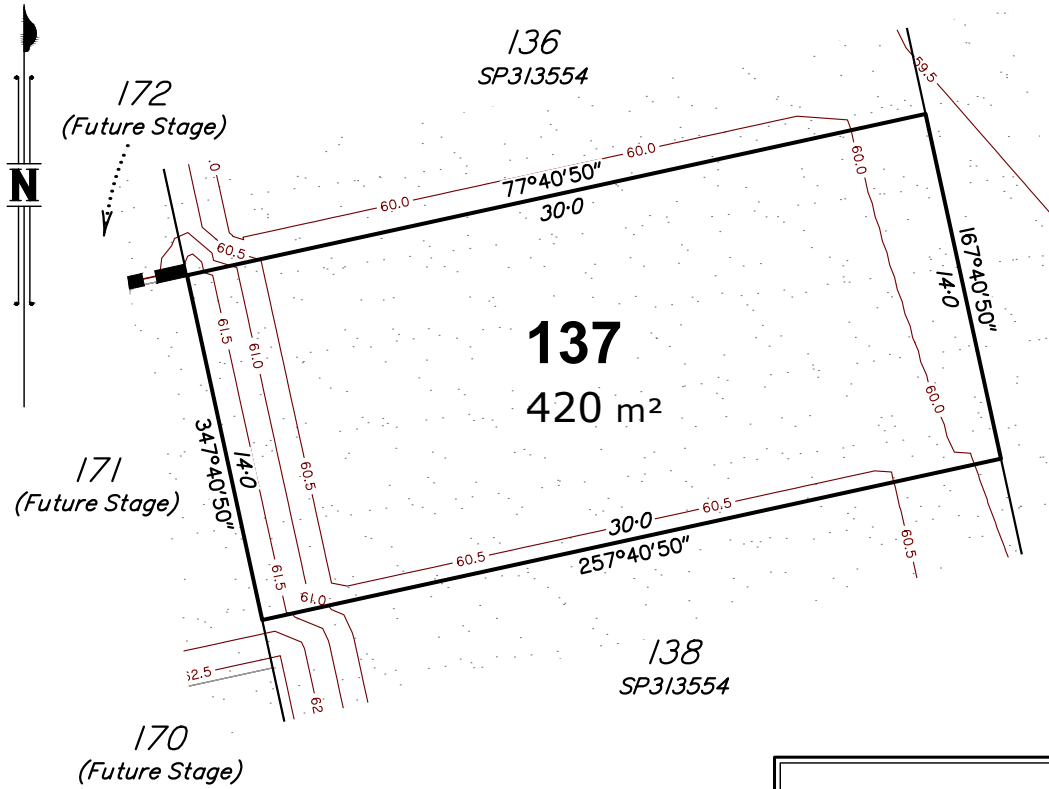
Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS

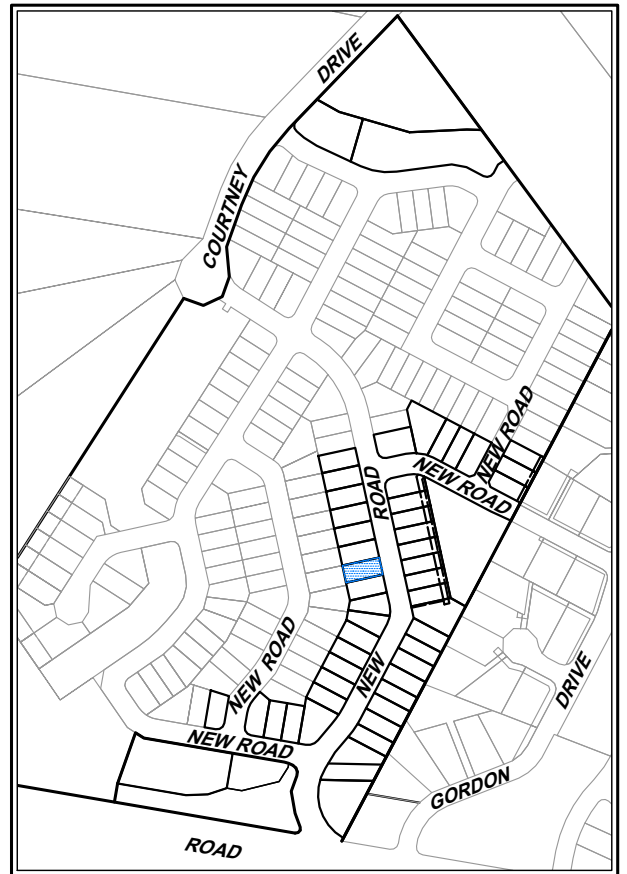


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 137 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

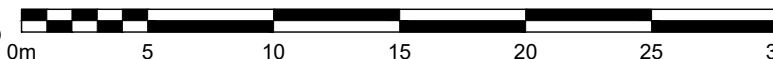


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 33 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 137 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

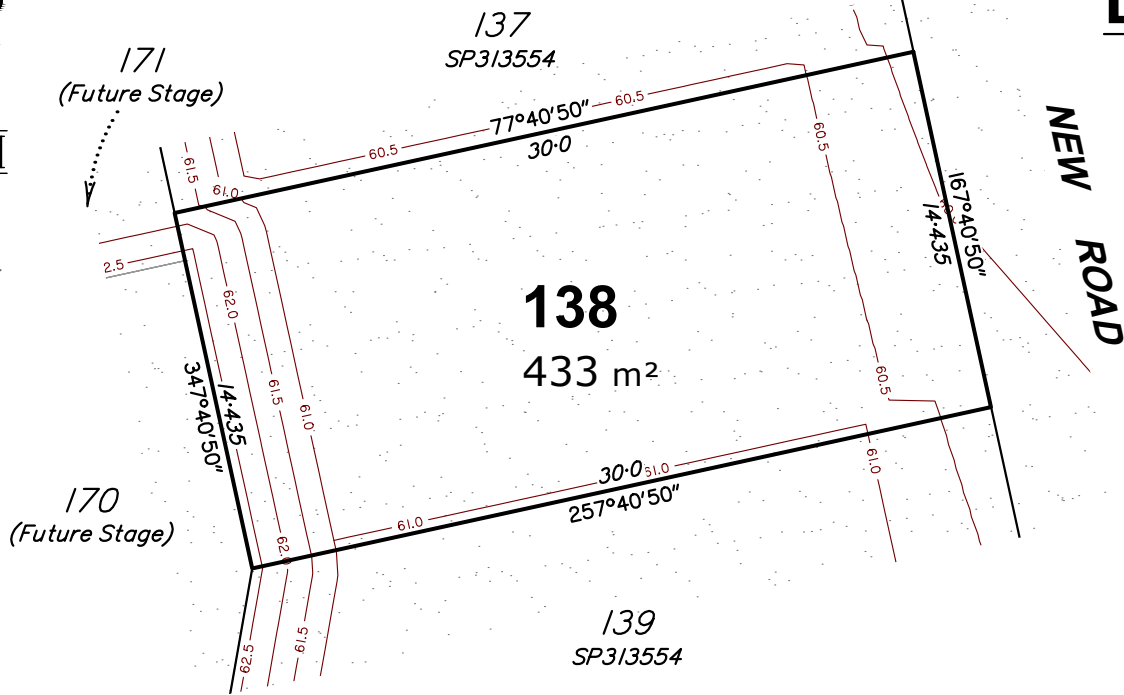
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 138

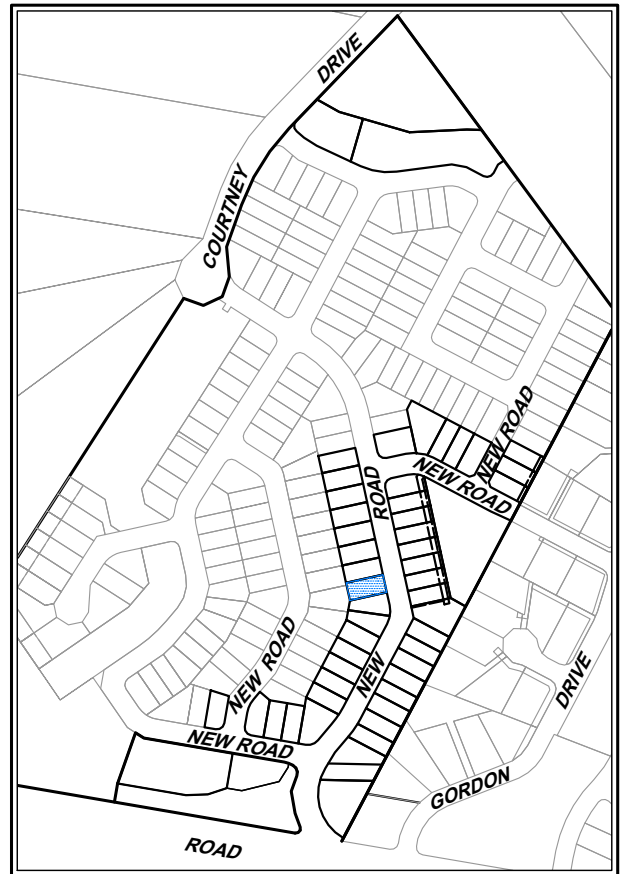


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 138 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

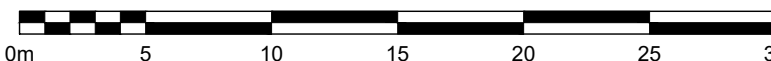


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 138 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

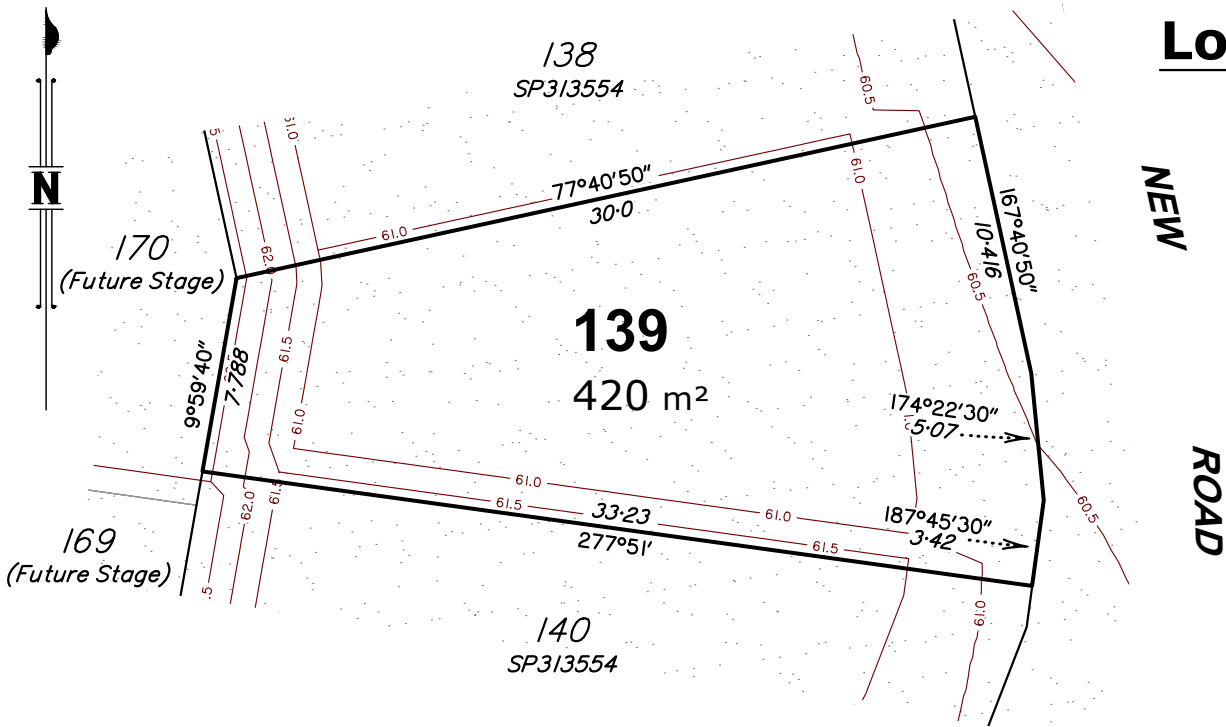
Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS

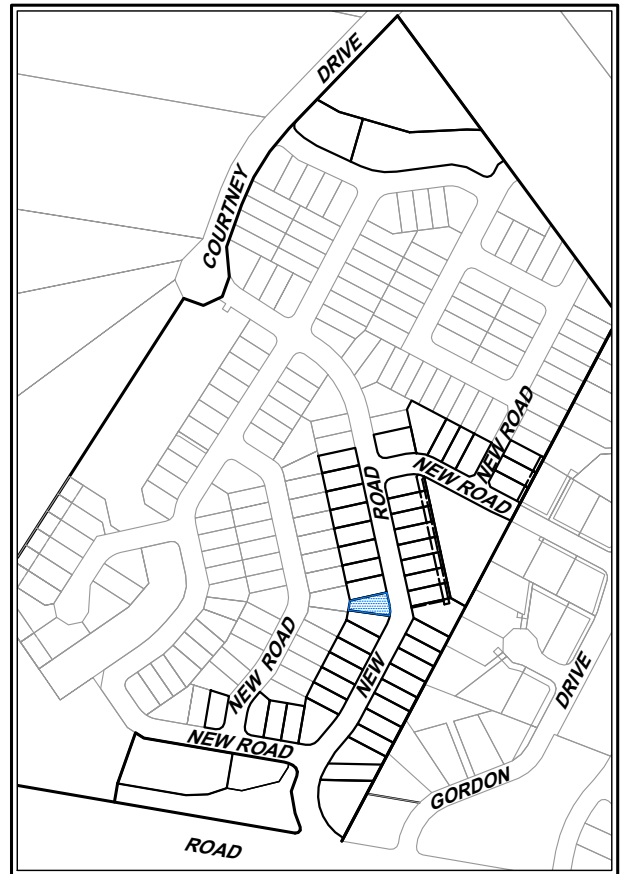


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 139 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

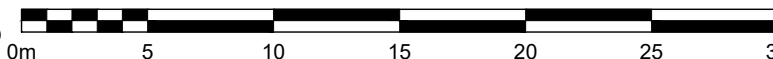


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 139 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

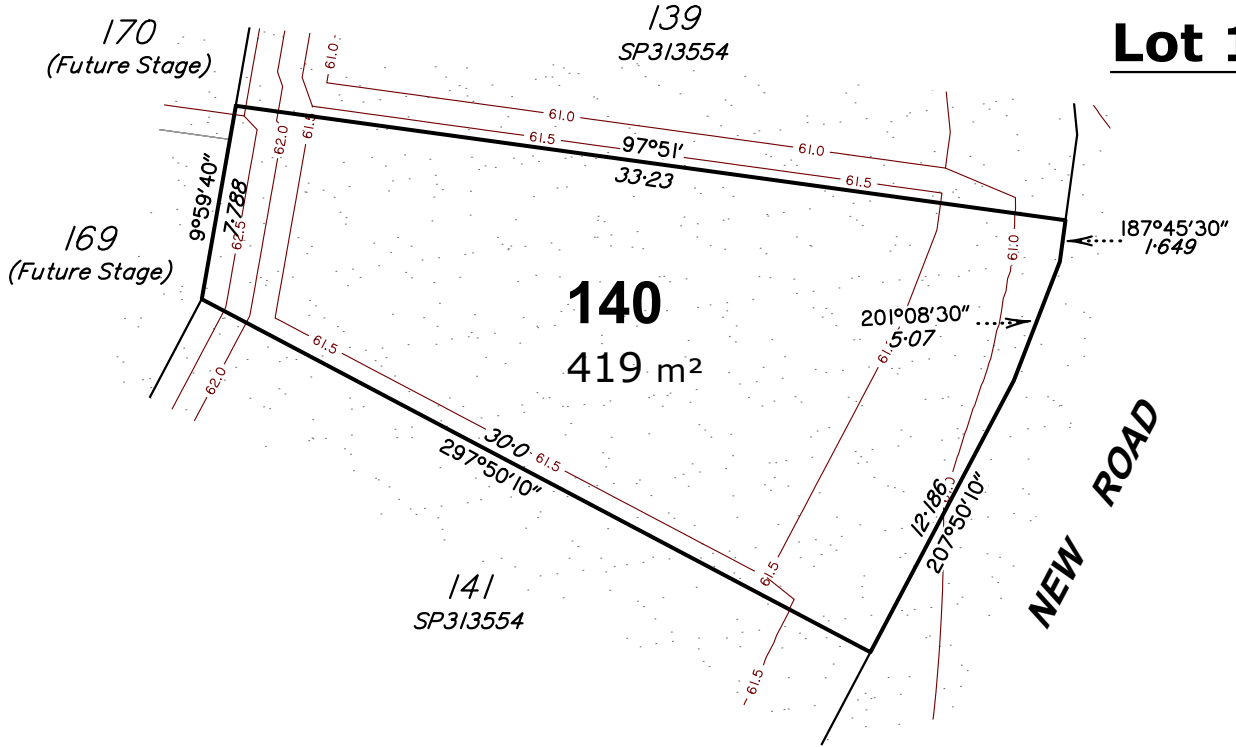
Comp File:

171101.project





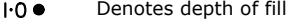
Plan No:

171101_027_DIS

Lot 140

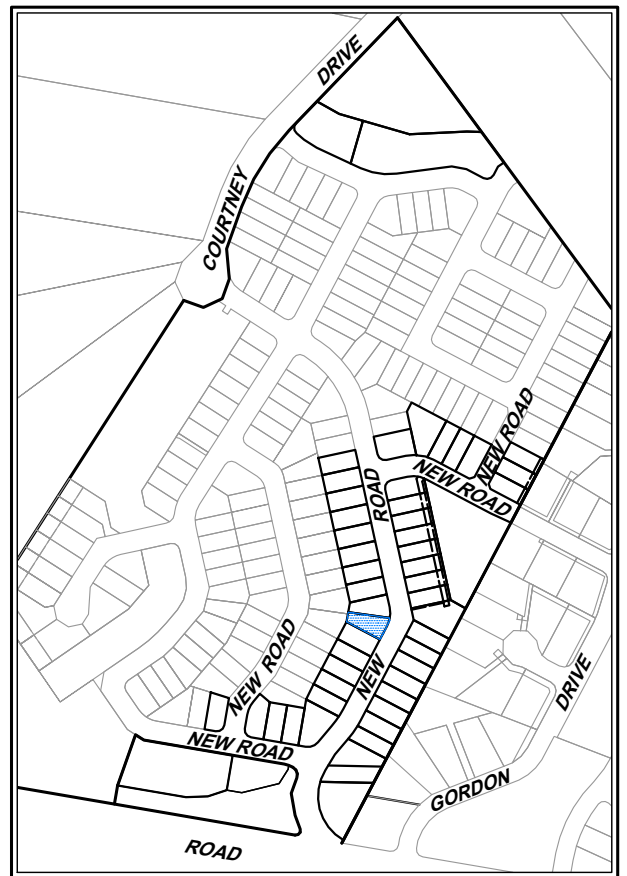


LEGEND

-  Approximate Cut Area
-  Approximate Fill Area
-  — 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
-  Denotes retaining wall
-  1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 140 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

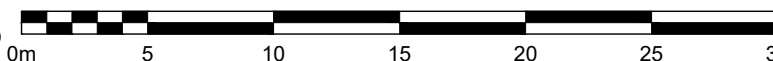


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 140 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

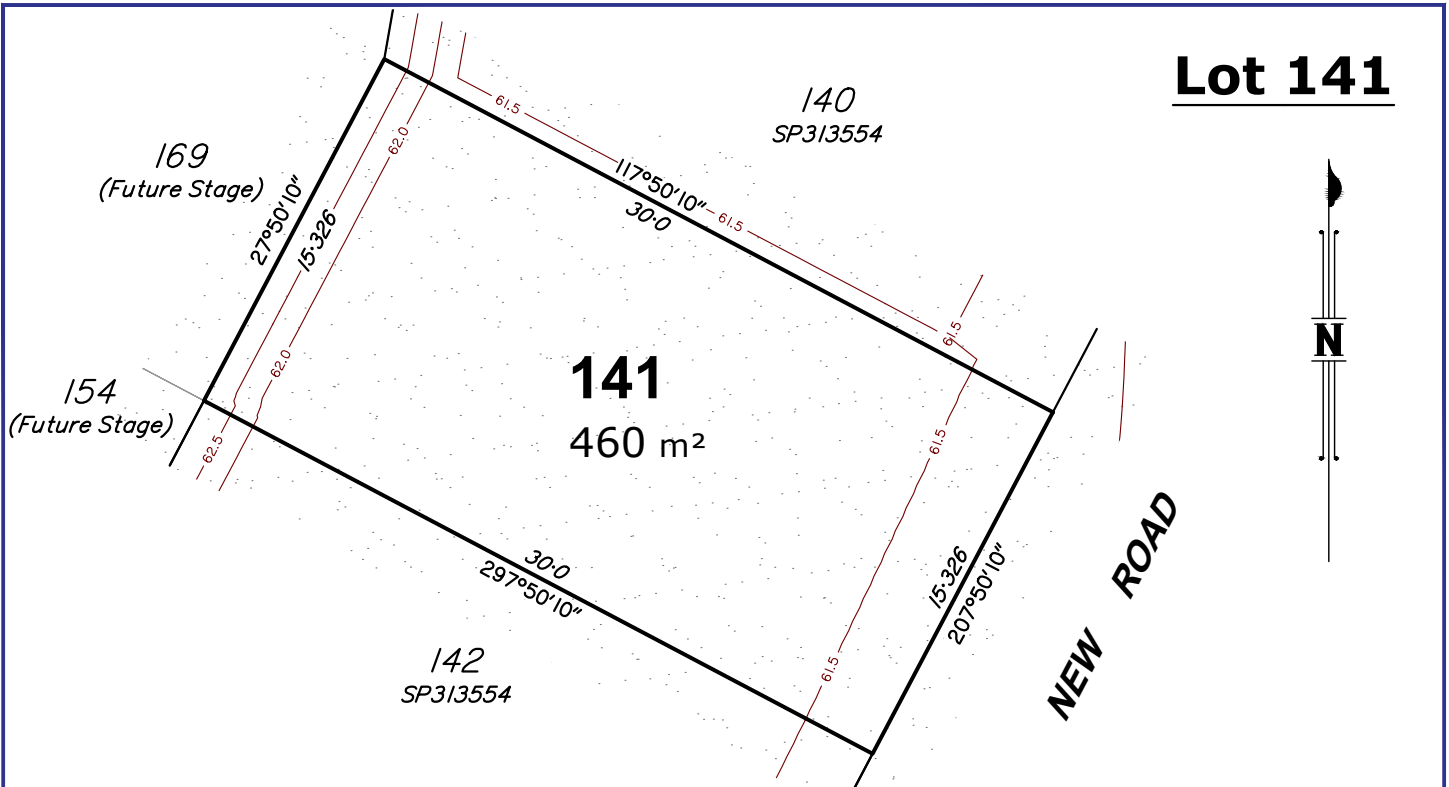
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 141

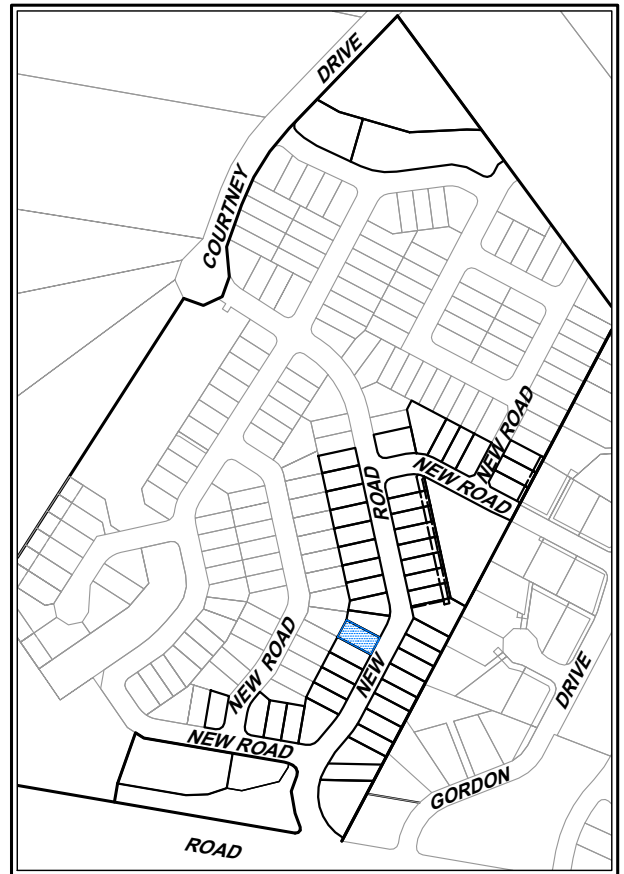


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Notes:

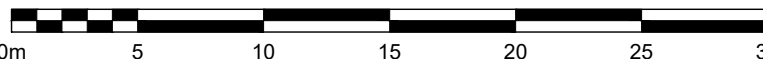
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 141 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 37 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 141 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

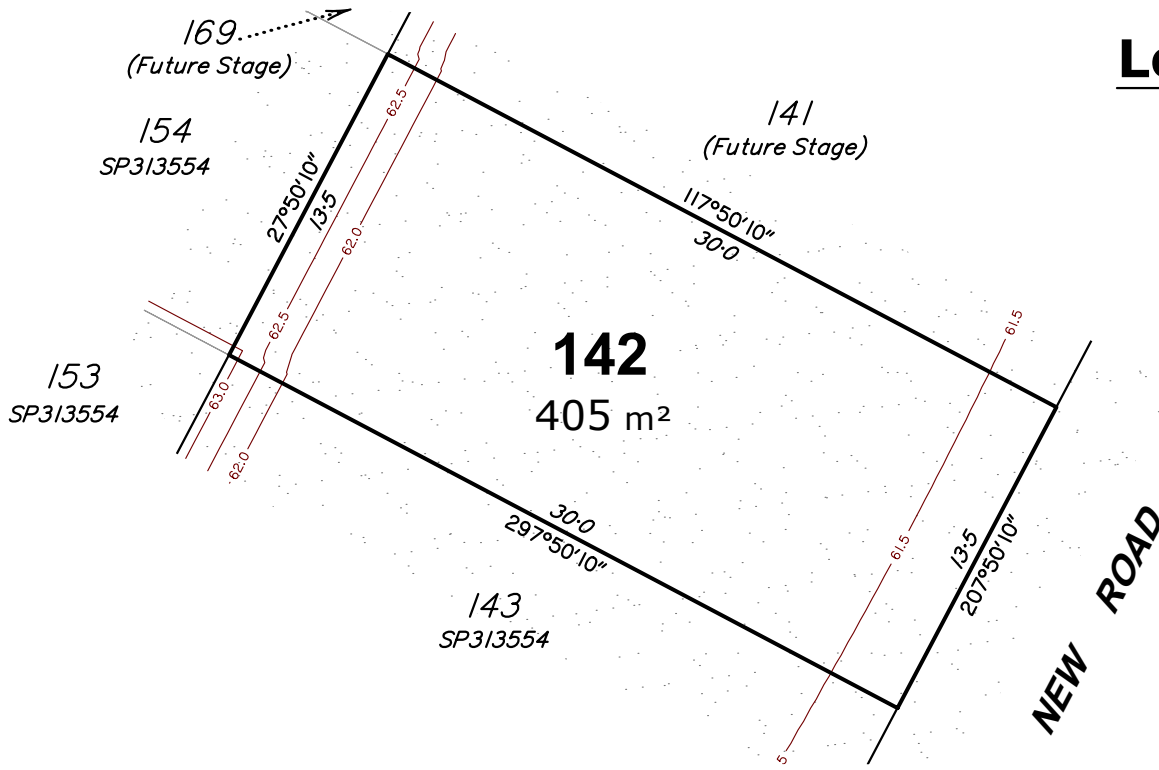
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 142

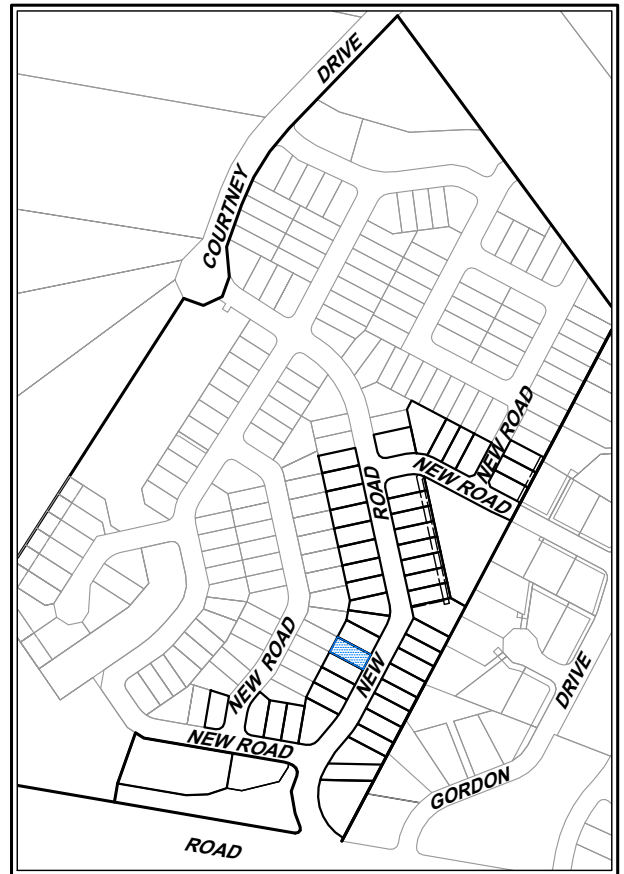


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 142 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

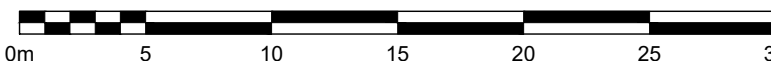


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 38 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 142 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

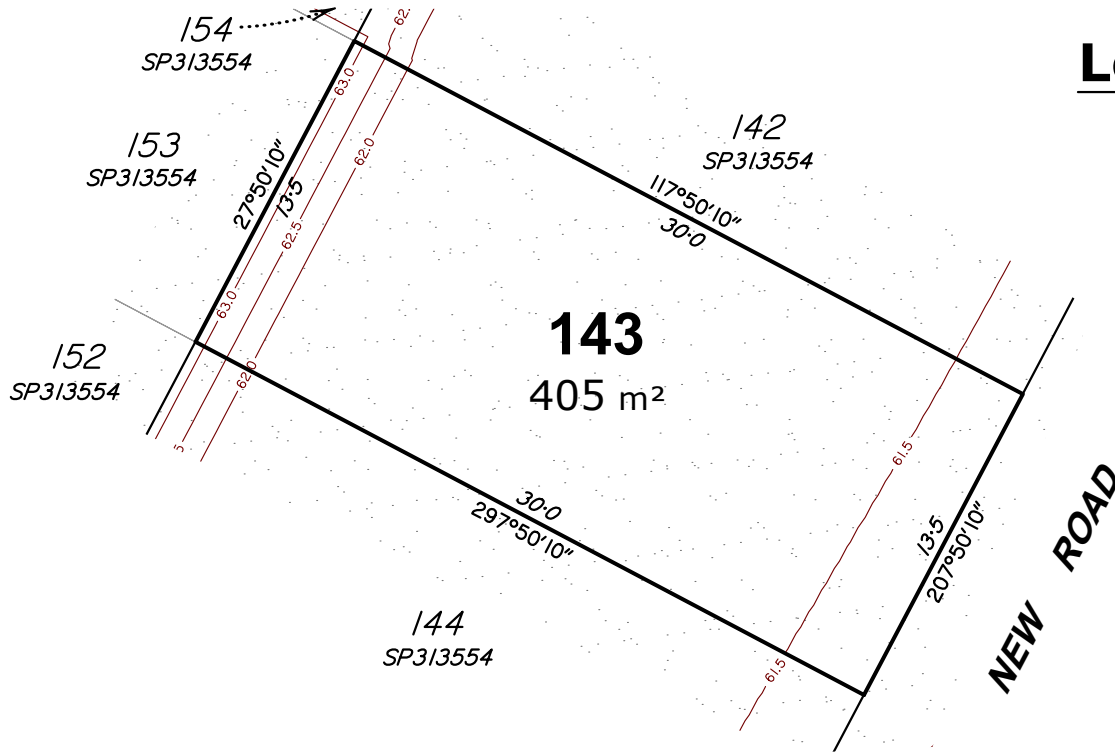
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 143

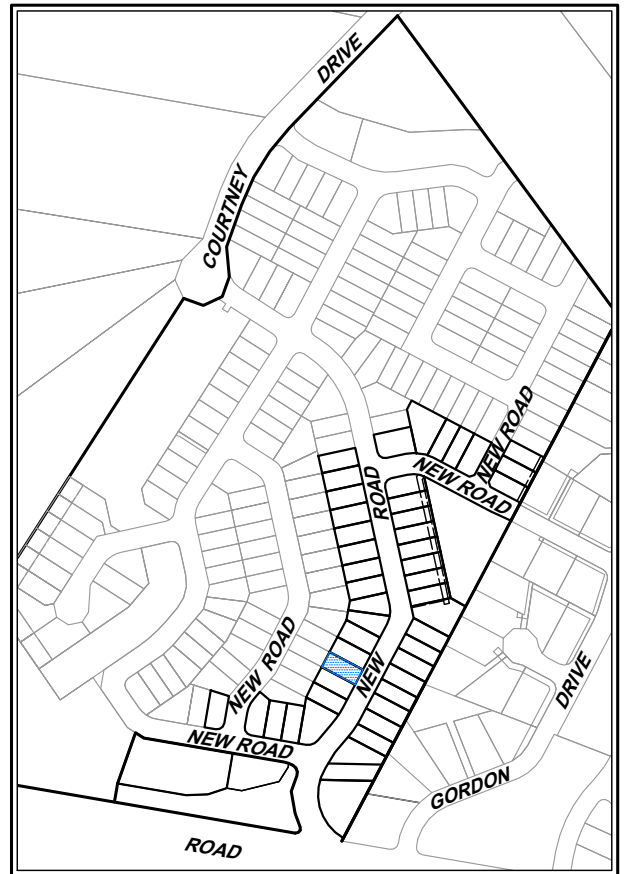


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill

Notes:

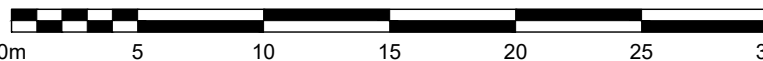
1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 143 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.



LOCALITY
SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 143 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

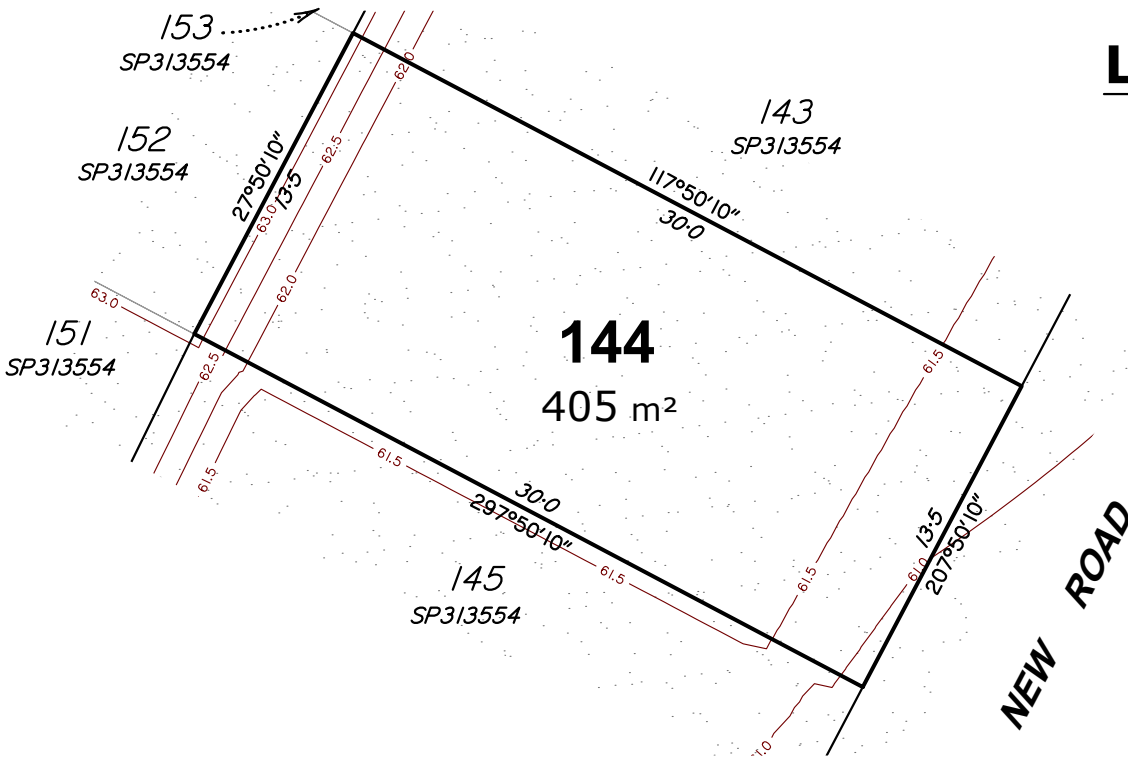
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 144

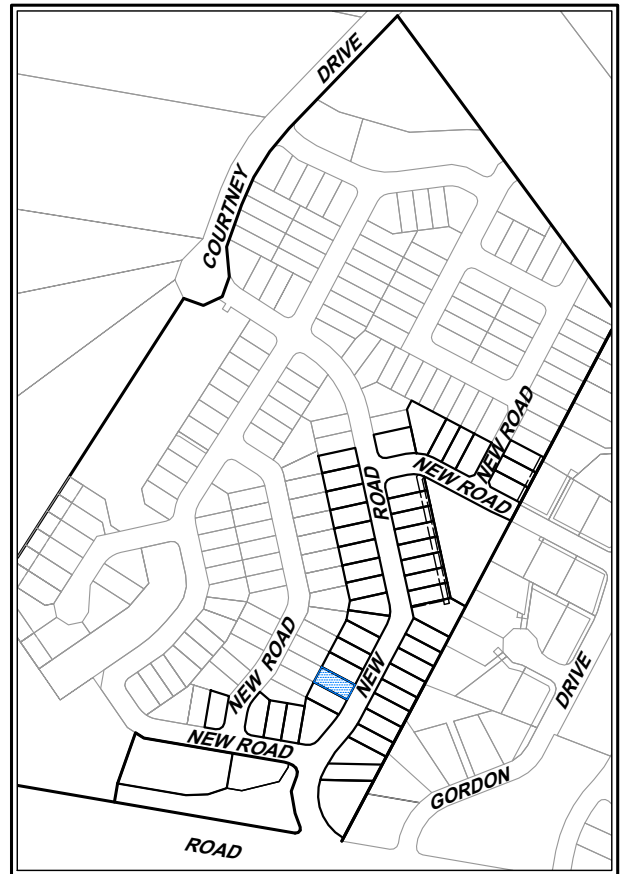


LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 144 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

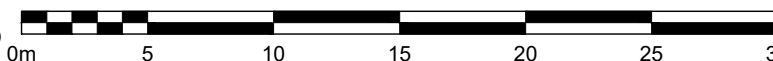


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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Ph: (07) 5631 8000
mail@bennettandbennett.com.au

Surveying, Town Planning & Spatial Services
GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS
www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 144 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

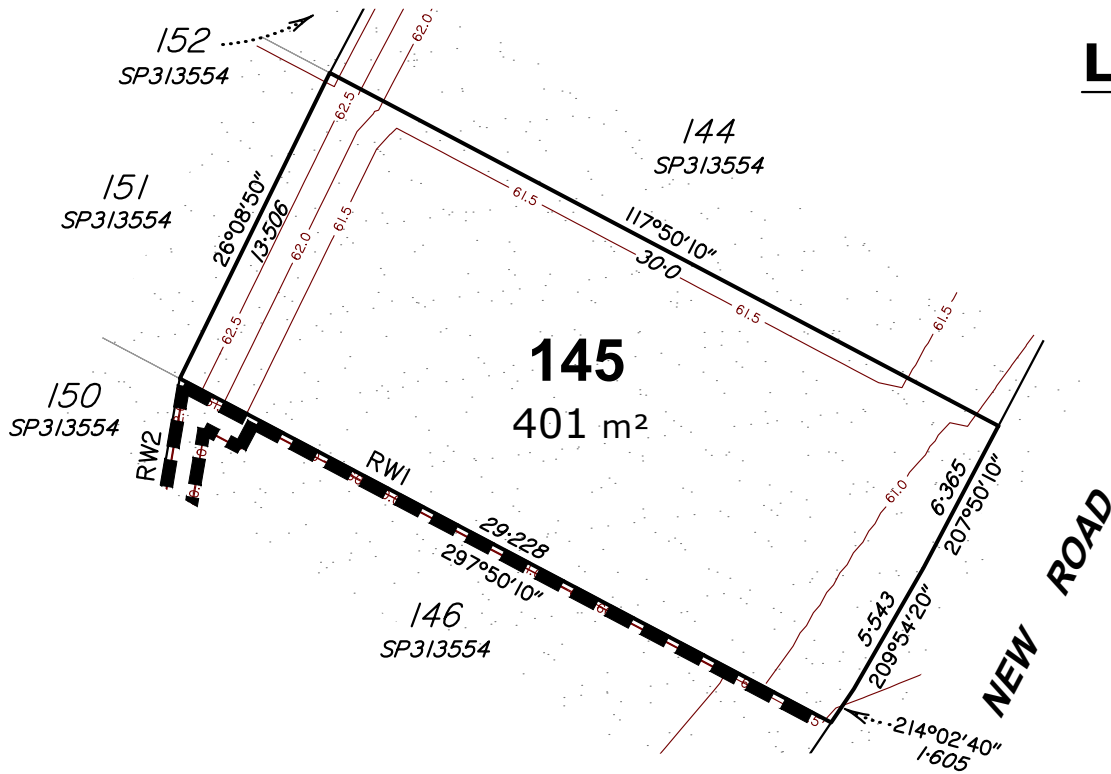
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 145



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.3	1.3	1.3
* 1.3	2.8	2.1

RWI
RW2

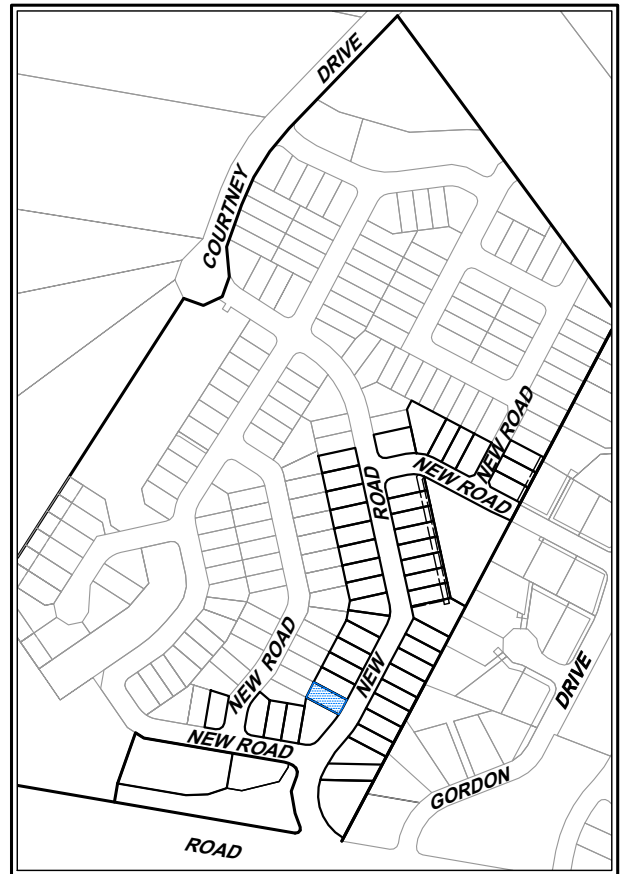
Note: Retaining Wall is located in adjoining Lots.

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 145 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

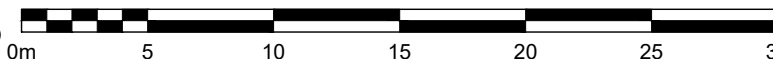


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 145 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

Comp File:

171101.project

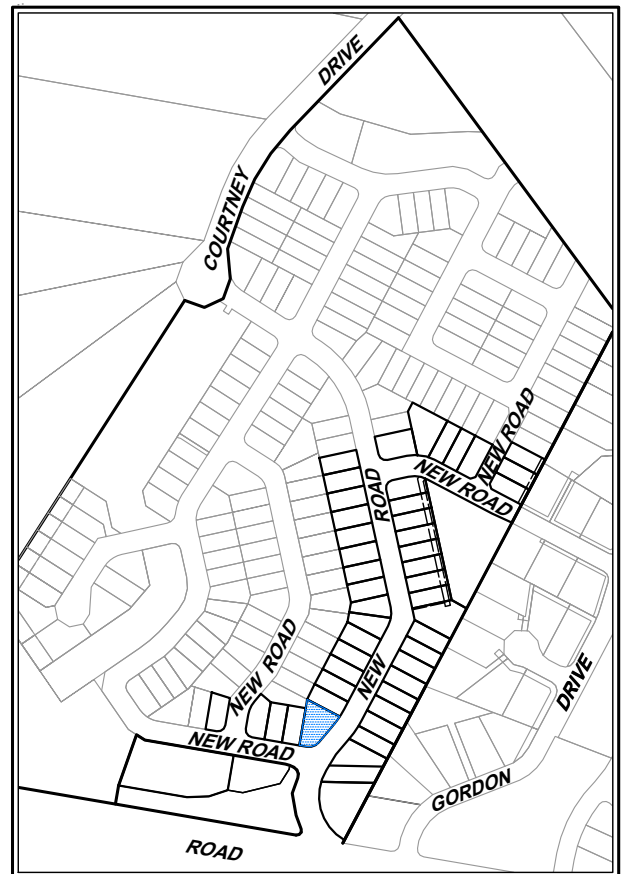
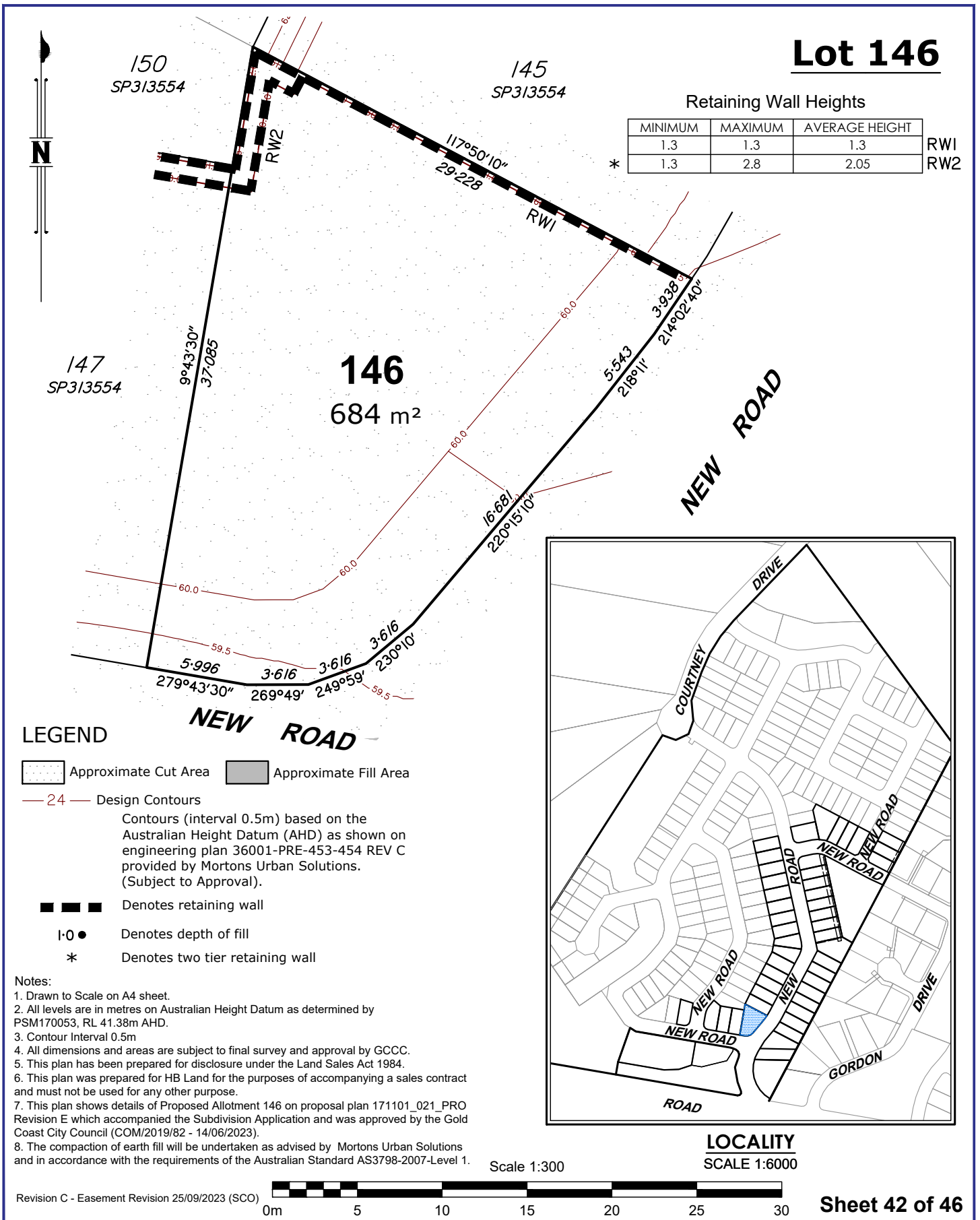
Plan No:

171101_027_DIS

Lot 146

Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT	
1.3	1.3	1.3	RWI
1.3	2.8	2.05	RW2



LOCALITY
SCALE 1:6000

LEGEND

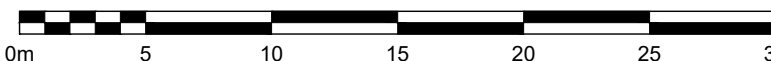
- Approximate Cut Area
- Approximate Fill Area
- 24 Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill
- Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 146 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 146 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

Scale: 1:300

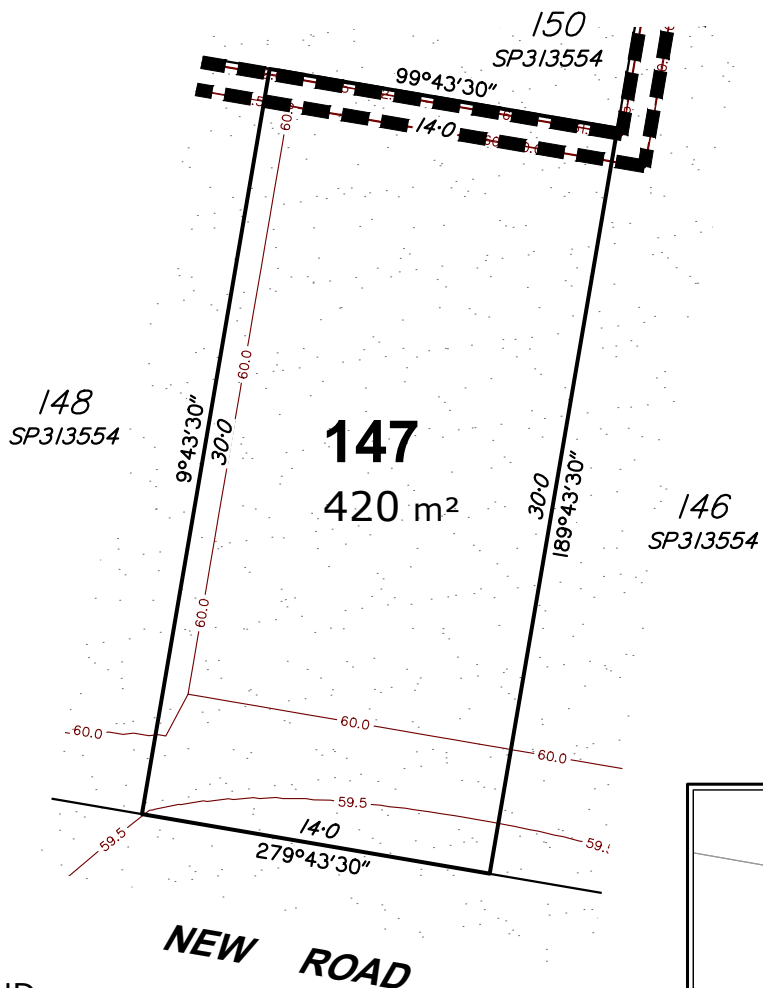
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 147



Retaining Wall Heights

MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.3	2.8	2.05

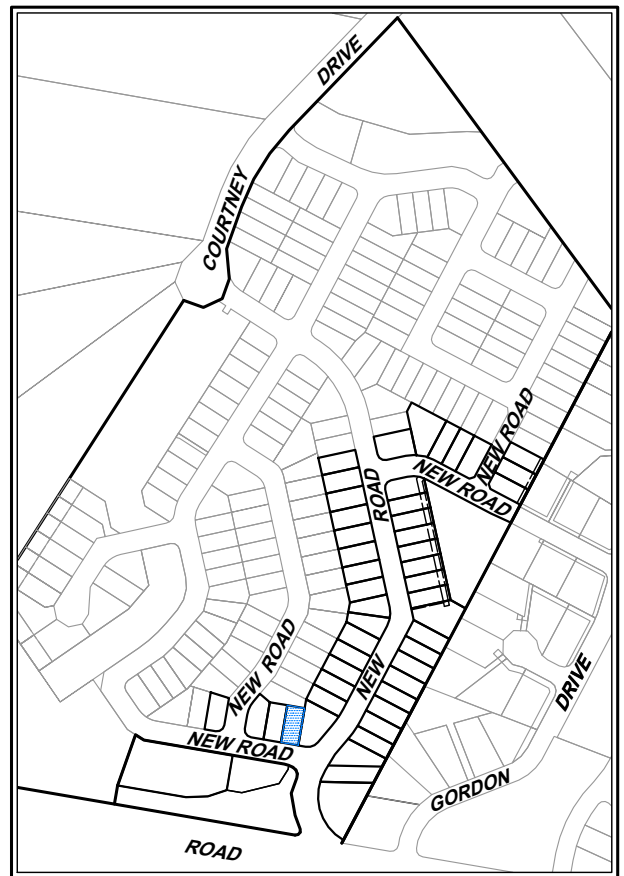
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LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1-0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 147 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

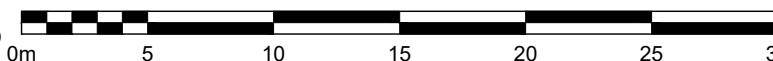


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 147 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By: SF

Approved: SWM

Date Created: 08/11/2021

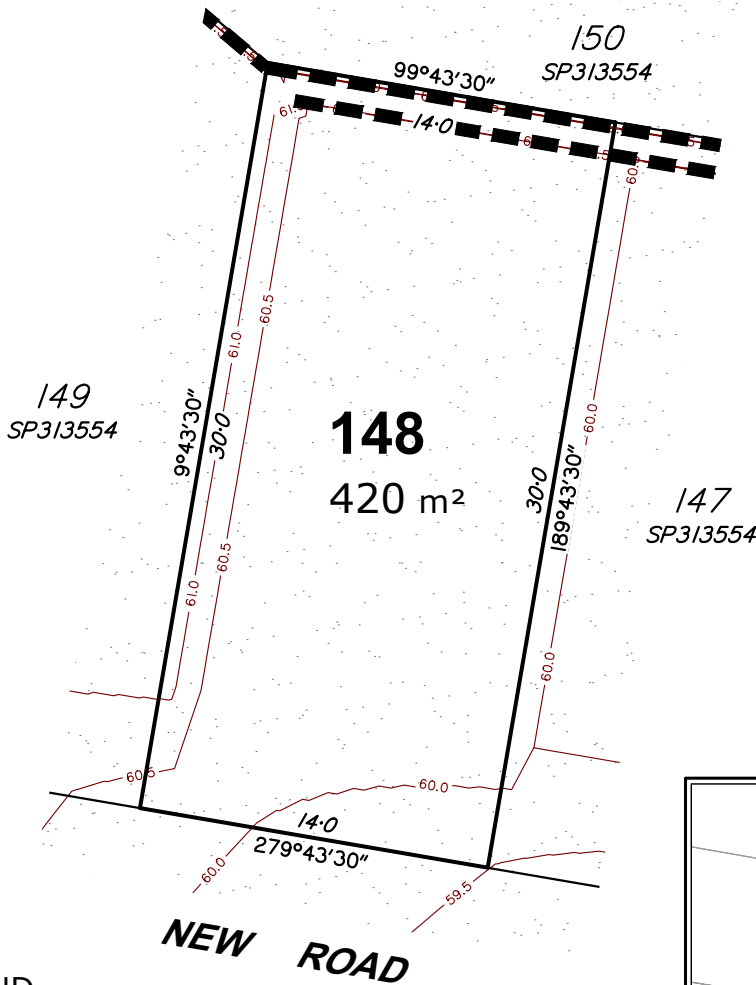
Scale: 1:300

Comp File: 171101.project

Plan No:

171101_027_DIS

Lot 148



Retaining Wall Heights

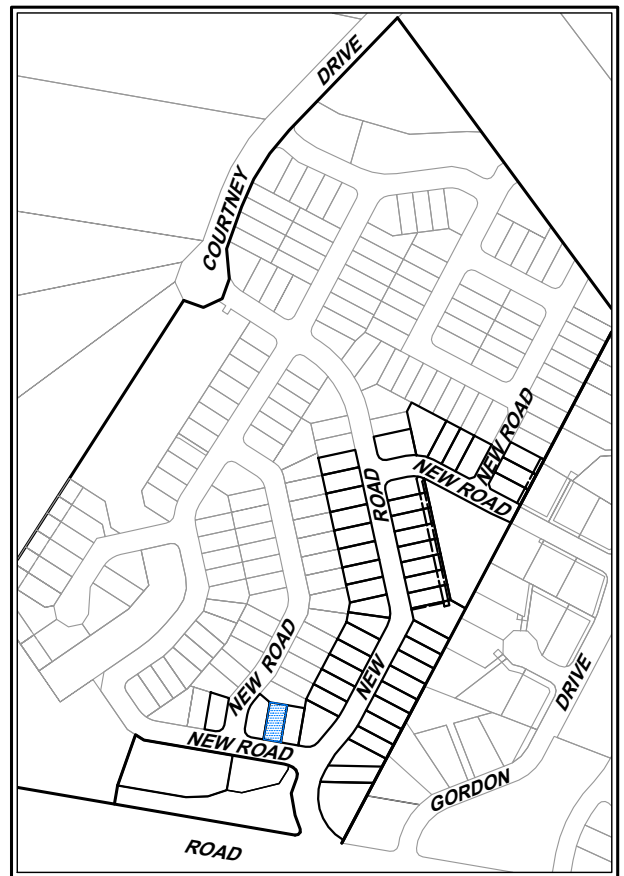
	MINIMUM	MAXIMUM	AVERAGE HEIGHT
*	1.0	2.5	1.75

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill
- * Denotes two tier retaining wall

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 148 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

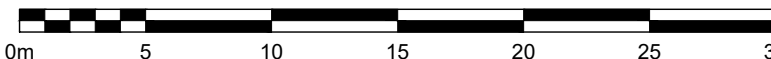


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 44 of 46



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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 148 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

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Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

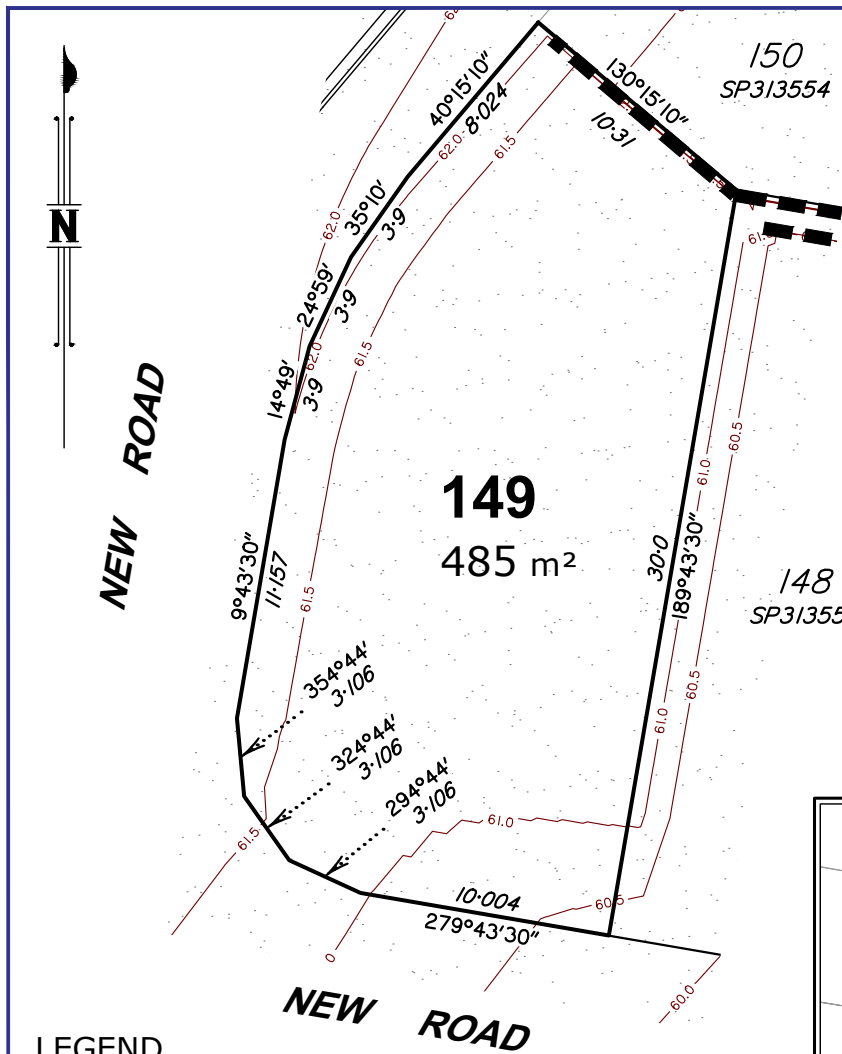
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 149



Retaining Wall Heights

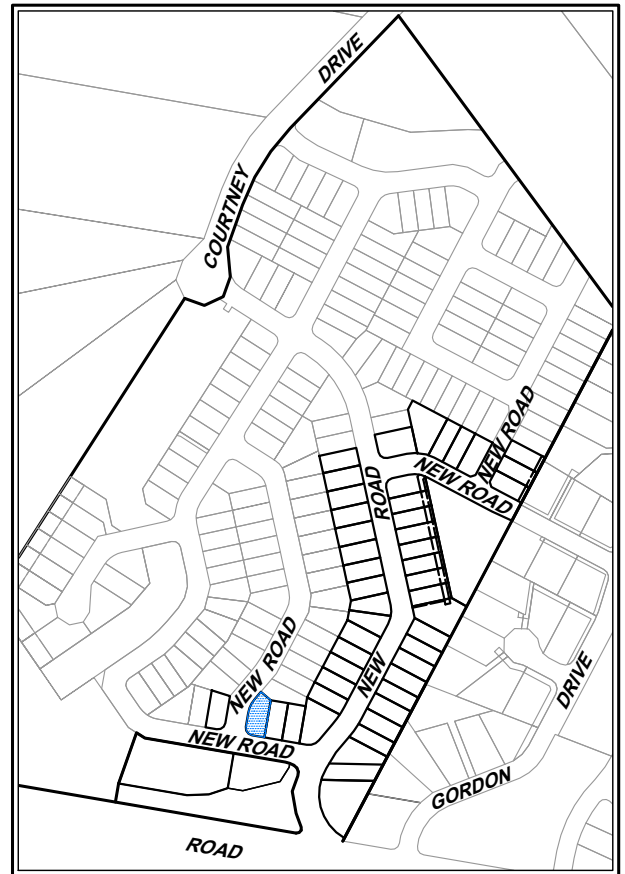
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.5	1.5	1.5

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- 1.0 ● Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 149 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

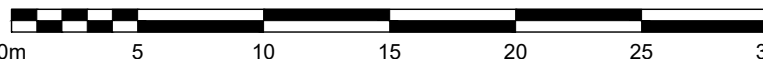


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 45 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 149 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

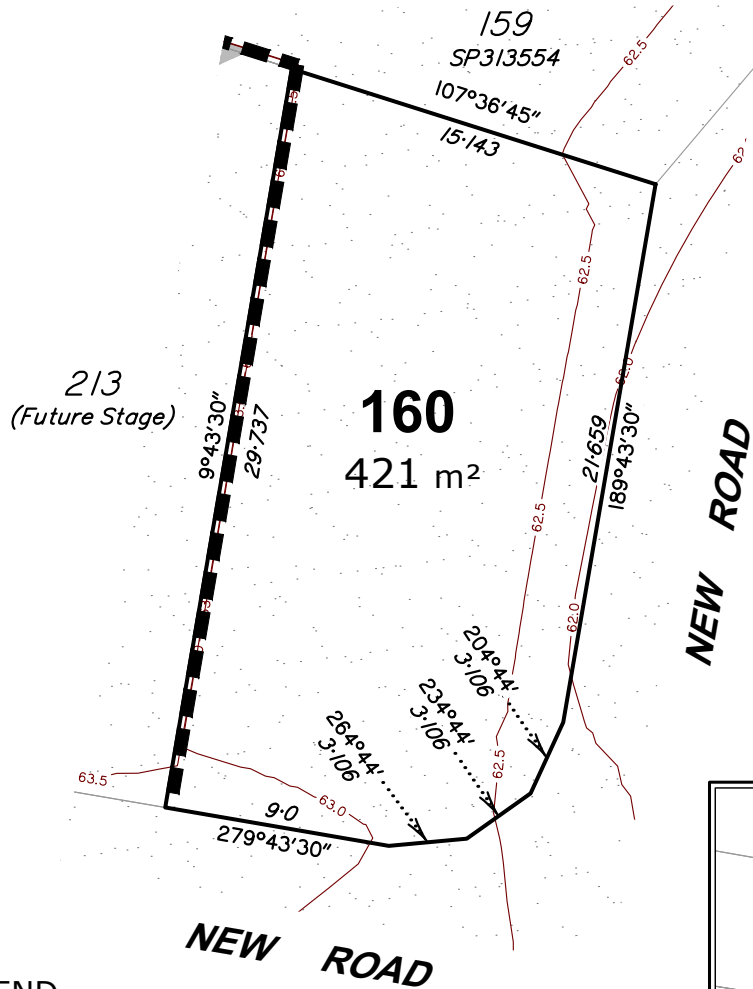
Comp File:

171101.project

Plan No:

171101_027_DIS

Lot 160



Retaining Wall Heights

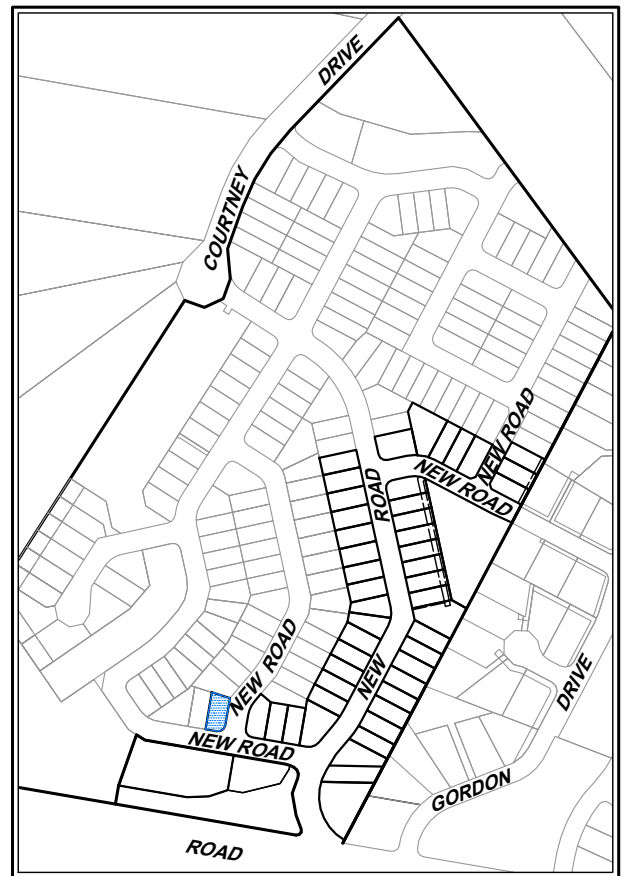
MINIMUM	MAXIMUM	AVERAGE HEIGHT
1.2	1.2	1.2

LEGEND

- Approximate Cut Area
- Approximate Fill Area
- 24 — Design Contours
- Contours (interval 0.5m) based on the Australian Height Datum (AHD) as shown on engineering plan 36001-PRE-453-454 REV C provided by Mortons Urban Solutions. (Subject to Approval).
- Denotes retaining wall
- Denotes depth of fill

Notes:

1. Drawn to Scale on A4 sheet.
2. All levels are in metres on Australian Height Datum as determined by PSM170053, RL 41.38m AHD.
3. Contour Interval 0.5m
4. All dimensions and areas are subject to final survey and approval by GCCC.
5. This plan has been prepared for disclosure under the Land Sales Act 1984.
6. This plan was prepared for HB Land for the purposes of accompanying a sales contract and must not be used for any other purpose.
7. This plan shows details of Proposed Allotment 160 on proposal plan 171101_021_PRO Revision E which accompanied the Subdivision Application and was approved by the Gold Coast City Council (COM/2019/82 - 14/06/2023).
8. The compaction of earth fill will be undertaken as advised by Mortons Urban Solutions and in accordance with the requirements of the Australian Standard AS3798-2007-Level 1.

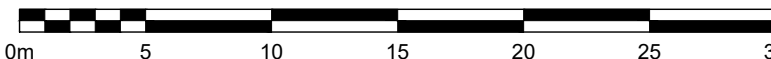


LOCALITY

SCALE 1:6000

Scale 1:300

Revision C - Easement Revision 25/09/2023 (SCO)



Sheet 46 of 46



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mail@bennettandbennett.com.au

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www.bennettandbennett.com.au

Title:

Disclosure Plan for Lot 160 on SP313554

Cancelling Lots 188-192 on RP173728
Courtney Drive, Upper Coomera
(Stage 1)

This is a disclosure plan, the final plan may be subject to change. The proposed lots have not been defined on site, and B.B.H. Pty Ltd Cadastral Surveyor accepts no responsibility for any amendments to location, areas, or shape that may occur during the development process. This plan has been prepared for the purpose of identifying the approximate location and size of registrable interests, and has been derived from information supplied by others. Lot dimensions may vary up to 1% and lot areas may vary by up to 2.0%. Contours, depths and retaining wall heights may vary by up to 0.5m. Lengths and shapes of retaining walls may vary during construction. This note is an integral part of this plan and no part of the plan may be reproduced without this note.

Client:

**HB AUSTRALIA
PTY LTD**

Locality:

UPPER COOMERA

Local Gov:

GCCC

Prepared By: DAR

Surveyed By:

SF

Approved: SWM

Date Created:

08/11/2021

Scale: 1:300

Comp File:

171101.project

Plan No:

171101_027_DIS