

**PLANS AND DOCUMENTS** referred to in the DEVELOPMENT APPROVAL

Application No: COM/2019/82

Dated: 8 August 2023

Development shall comply with the conditions of approval as detailed in the Decision Notice and Council's Planning Scheme, Local Laws and Planning Policies

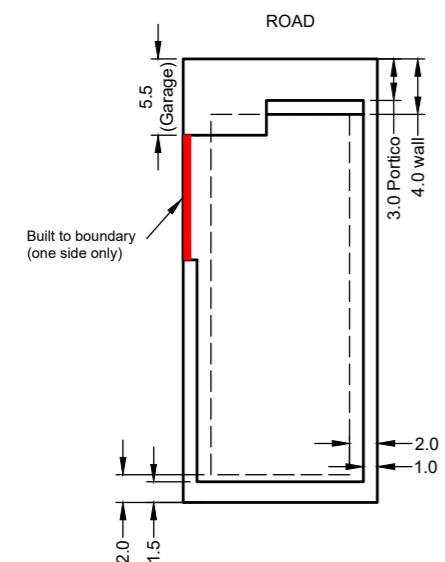
**PLAN OF DEVELOPMENT**

	Ground (up to 4.5m)	First (4.5m and above)
<b>Dwelling Setbacks</b>		
Front (Building)	4.0m (3.0m to Portico)	
Front (Garage)	5.5m	N/A
Rear	1.5m	2.0m
Side (Built to Boundary where nominated on plan)	Optional - one side only up to 9m long	2.0m
Side (Non Built to Boundary)	1.0m	2.0m
<b>Corner Allotment Setbacks</b>		
Secondary Frontage	2.0m	
<b>Site Coverage (Maximum)</b>		
Courtyard Lots (less than 600m2)	55%	
Traditional Lots (600m2 and greater)	50%	
Height of Built to Boundary wall (Maximum)	3m	

- Front building setbacks for garages are to be measured to the face of the garage door. Front building setbacks for the balance of the façade are to be measured to the building wall. Side and rear building setbacks are to be measured to the building wall.
- An encroachment of up to 450mm for eaves, gutters, awnings, sunscreens and privacy screens is permitted within the nominated boundary setbacks.
- Where a retaining structure is proposed along a side or rear boundary, the setback provision is to be measured from the toe of the retaining structure.
- Secondary frontage being the frontage with the longer dimension
- No building or structures permitted to encroach into any easements, unless allowed within the easement provisions.
- Lots 111-118 are subject to split level earthworks pads and split level building product.
- Built to boundary walls must be for non-habitable Class 10a parts of the building or garage only. All built to boundary walls must be rendered and painted or constructed with a pre-finished material. Untreated concrete and block walls are not permitted.
- Any non-compliance with the POD provisions is to trigger an Referral Agency Assessment (RAA) application.

**BUILDING ENVELOPE DIAGRAM**

Scale 1:500



**LEGEND**

- Built to Boundary Wall
- ▲ Built to Boundary Wall - Nominated Boundary
- Wall (Ground Level)
- - - Wall (First Level)
- ▒▒▒▒▒ Secondary frontage - No direct vehicle access
- ▒▒▒▒▒ Courtyard Lots (less than 600m2)
- ▒▒▒▒▒ Traditional Lots (600m2 and greater)



Lot 121 is excluded from this Plan of development

- NOTES:
- Drawn to scale on an A3 sheet.
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  - Dimensions shown are to the nearest decimeter.

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F	Layout Updated	HK	19/07/2023
E	No access lines updated	HK	03/11/2022
D	Updating BTB wall locations	HK	21/09/2022
C	Update to Staging & BTB wall locations	HK	14/09/2022
B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title: **Plan of Development Overall**  
 Courtney Drive, Upper Coomera  
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DR**

Surveyed By: **DR** Approved: **DR**

Date Created: 16/11/2020 Scale: 1:2500

Comp File:

Plan No: **171101\_023\_PRO**

PLANS AND DOCUMENTS referred to in the DEVELOPMENT APPROVAL

Application No: COM/2019/82

Dated: 8 August 2023

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B	Additional details added	DJR	03/12/2020
A	Original Issue	DJR	16/11/2020

Title:  
**Plan of Development Stage 1**  
 Courtney Drive, Upper Coomera  
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: DR

Surveyed By: Approved: DR

Date Created: 16/11/2020 Scale: 1:1500

Comp File:

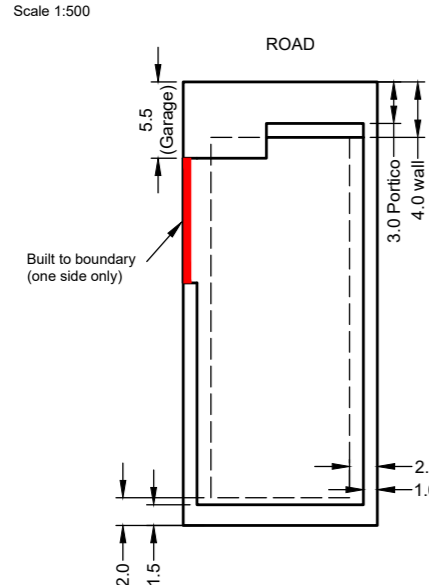
Plan No: **171101\_023\_PRO**

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Secondary Frontage	2.0m	
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9. Siting variations for setbacks do not apply to Lot 121.

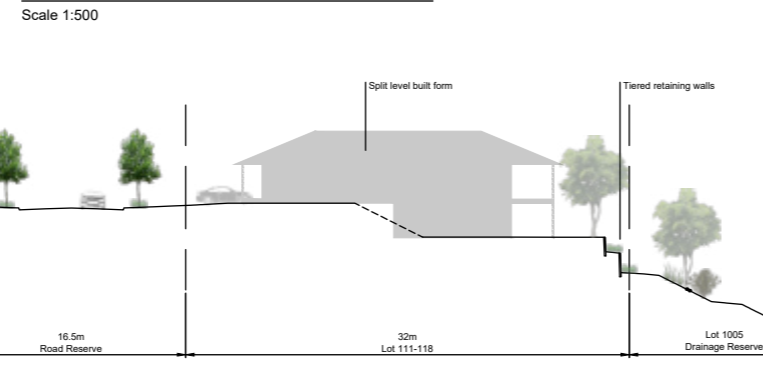
**BUILDING ENVELOPE DIAGRAM**



**LEGEND**

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**LOTS 111-118 TYPICAL SECTION**



Typical section and potential built form outcome for lots 111-118 with split level building pads



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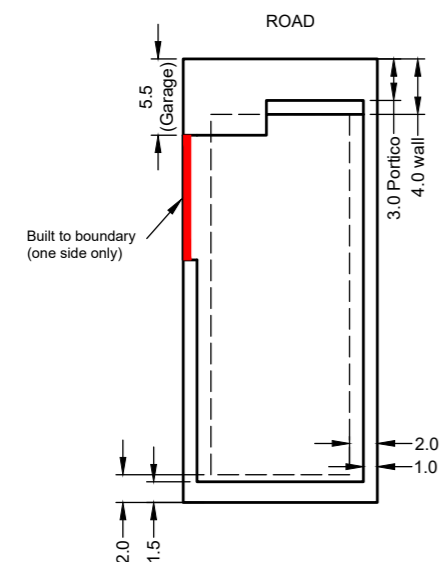
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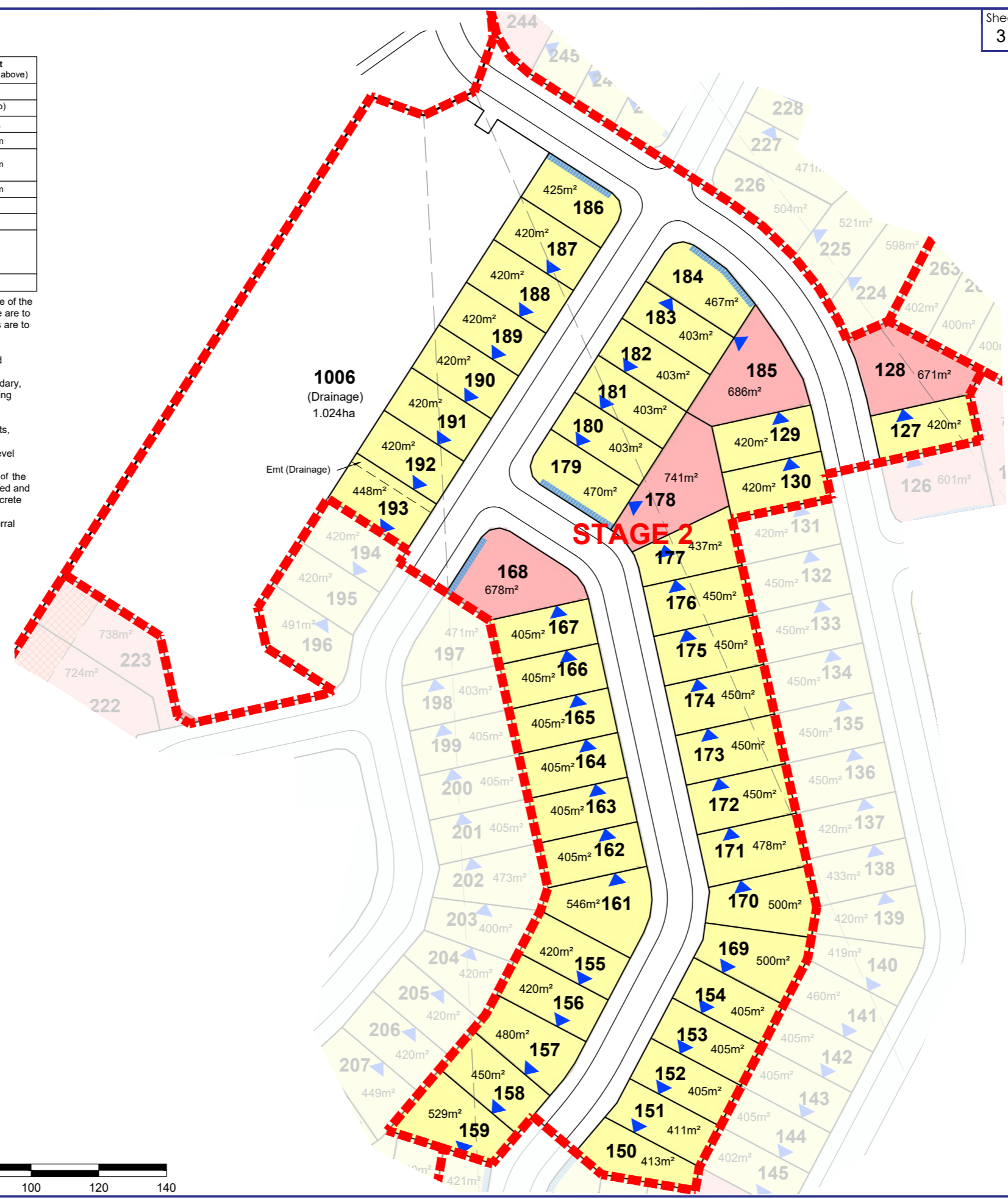
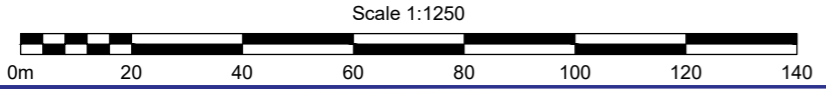
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A	Original Issue	DJR	16/11/2020

Title:  
**Plan of Development Stage 2**  
 Courtney Drive, Upper Coomera  
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DR**

Surveyed By: **DR** Approved: **DR**

Date Created: 16/11/2020 Scale: 1:1250

Comp File:

Plan No: **171101\_023\_PRO**

Sheet 4 of 6

**BENNETT + BENNETT**  
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 mail@bennettandbennett.com.au  
 Surveying, Town Planning & Spatial Services  
 GOLD COAST | BRISBANE | SUNSHINE COAST | NORTHERN RIVERS  
 www.bennettandbennett.com.au

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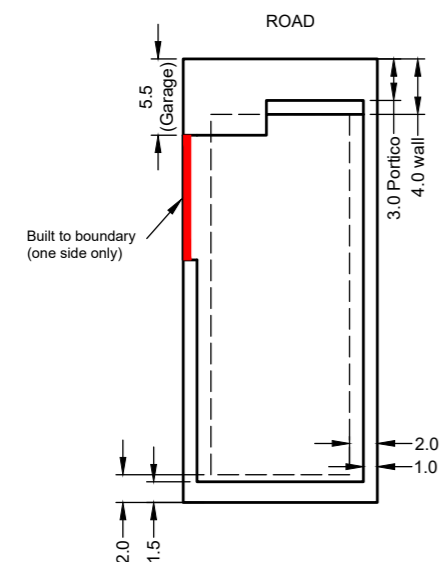
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Secondary Frontage	2.0m	
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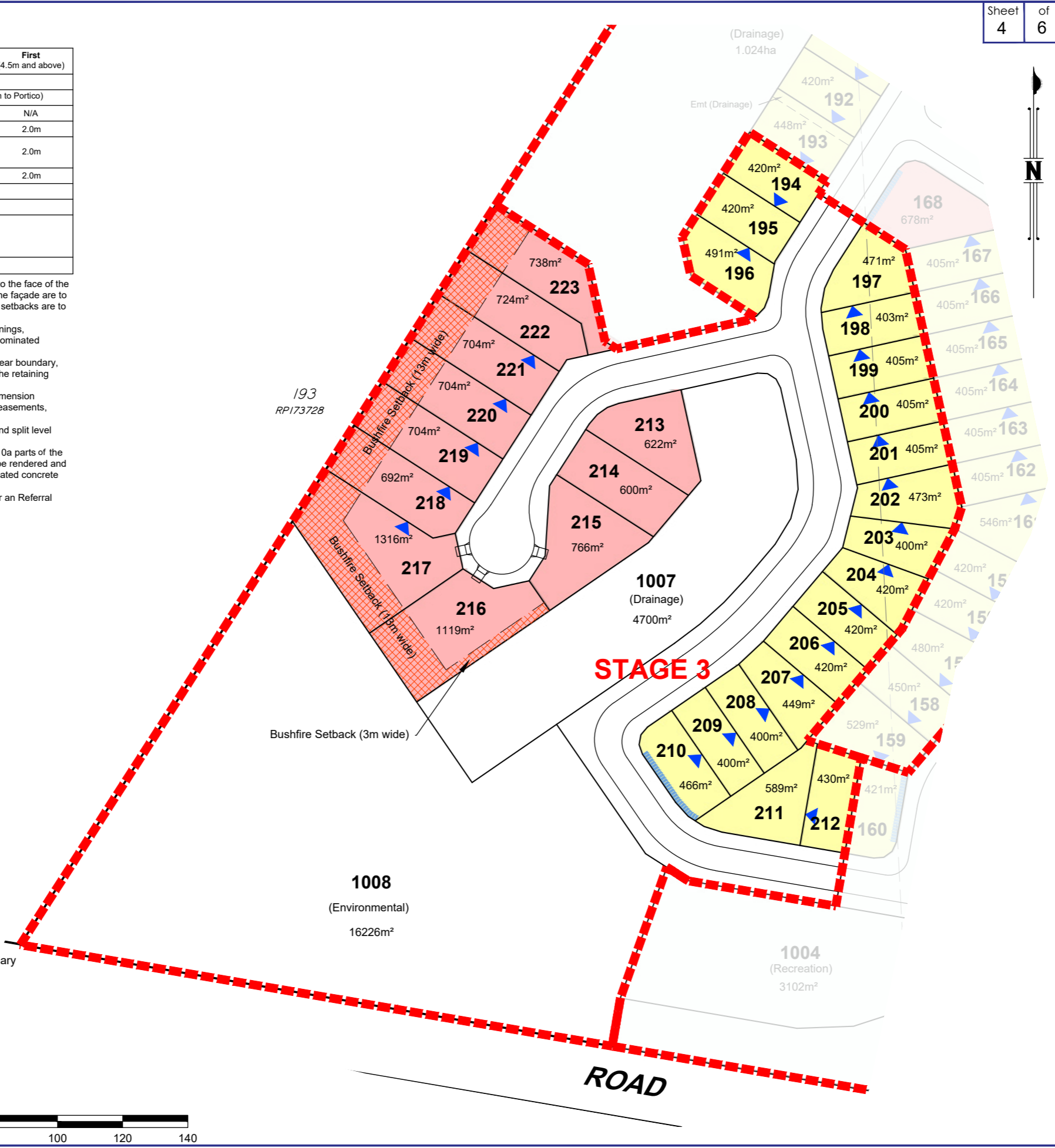
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A	Original Issue	DJR	16/11/2020

Title:  
**Plan of Development Stage 3**  
 Courtney Drive, Upper Coomera  
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: DR

Surveyed By: Approved: DR

Date Created: 16/11/2020 Scale: 1:1250

Comp File:

Plan No: **171101\_023\_PRO**

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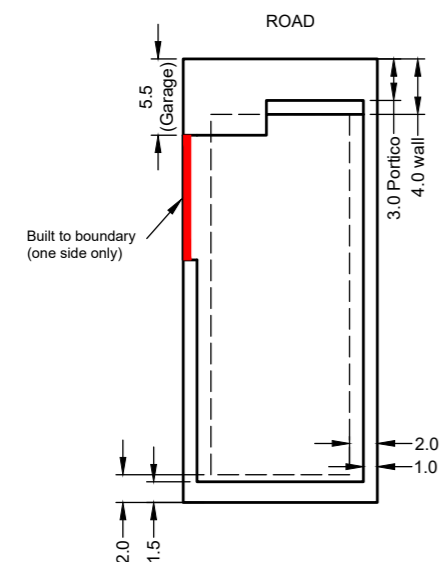
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Secondary Frontage	2.0m	
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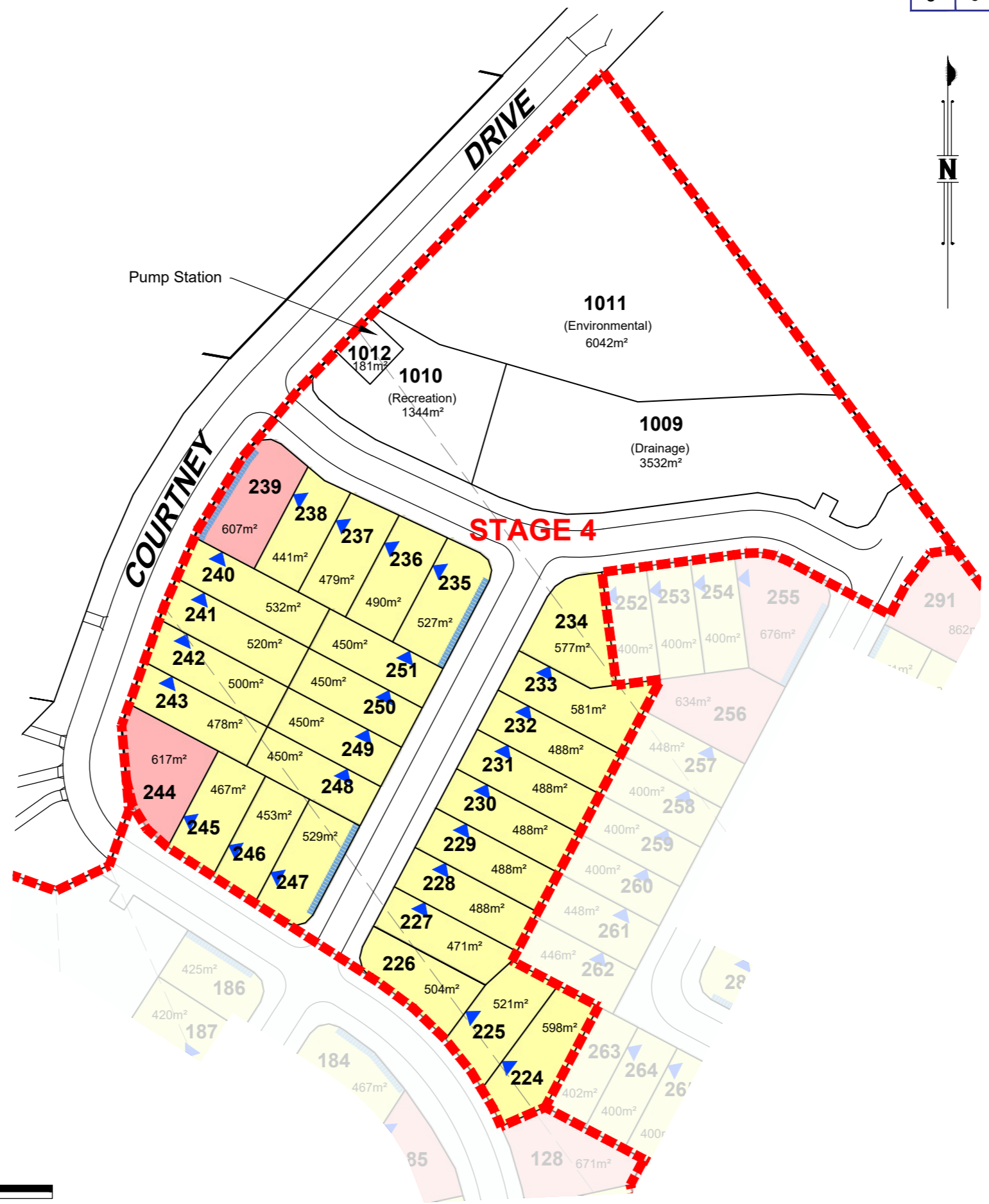
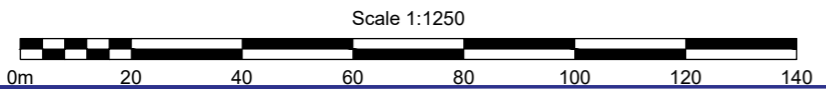
**BUILDING ENVELOPE DIAGRAM**

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**LEGEND**

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A	Original Issue	DJR	16/11/2020

**Plan of Development Stage 4**  
 Courtney Drive, Upper Coomera  
 (Described as Lots 188-192 on RP173728)

Client: **GALLERY HOMES**

Locality: **UPPER COOMERA**

Local Gov: **GCCC** Prepared By: **DR**

Surveyed By: **DR** Approved: **DR**

Date Created: 16/11/2020 Scale: 1:1250

Comp File:

Plan No: **171101\_023\_PRO**

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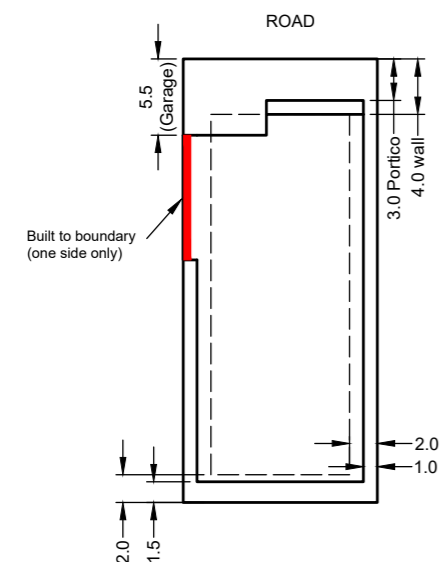
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Secondary Frontage	2.0m	
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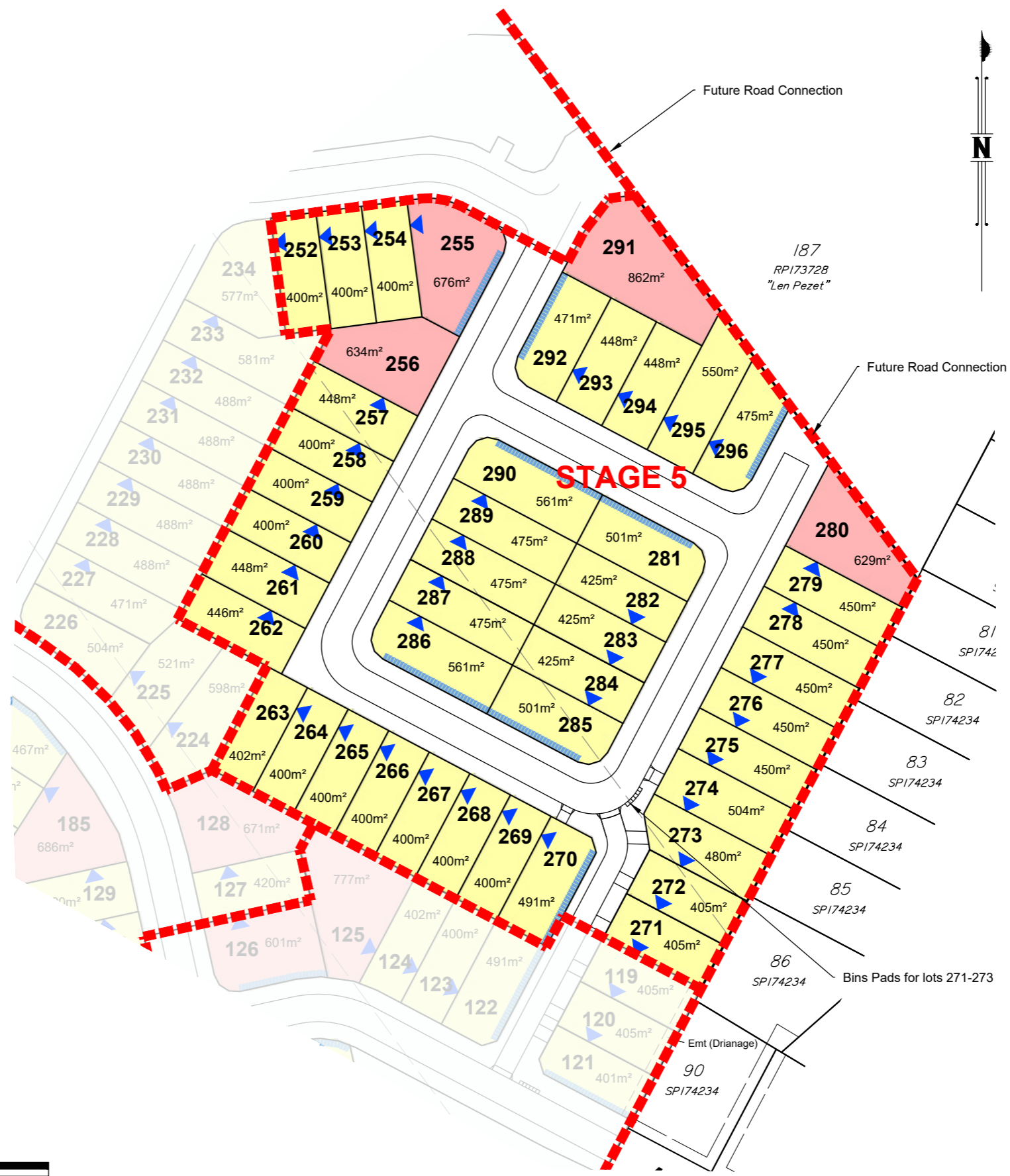
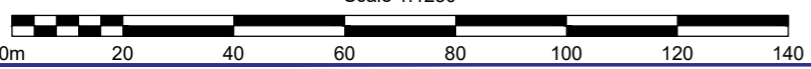
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### LEGEND

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**Plan of Development Stage 5**  
 Courtney Drive, Upper Coomera  
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Client: **GALLERY HOMES**

Locality: UPPER COOMERA

Local Gov: GCCC Prepared By: DR

Surveyed By: Approved: DR

Date Created: 16/11/2020 Scale: 1:1250

Comp File:

Plan No: **171101\_023\_PRO**



## Fencing Types

### Fencing & Bollard Locations

#### DEVELOPER INSTALLED FENCING

- 1 **Curved Feature Entry Wall**  
Curved entry statement wall clad in Wamberal Freeform Stone produced by Eco Outdoor.
- 2 **Feature Fence with Pillars**  
The fencing consists of 1600mm tall black pool fencing, bordered by stained hardwood timber. At regular intervals of 5 meters (nominal spacing), 1750mm high piers will be incorporated into the fencing structure.
- 3 **Living Feature Bollard Line**  
Hardwood bollards placed at 1.5m centres along the road, with trees replacing every 6th bollard.
- 4 **Hardwood Timber Framed Pool Fencing**  
Height: 1200mm minimum  
Black pool fencing, bordered by stained hardwood timber.
- 5 **Timber Lapped & Capped**  
Height: 1800mm  
Timber lapped and capped fencing. Fencing to be painted in a neutral colour.
- 6 **Batten Timber Fence**  
Height: 1800mm  
Constructed from soft wood pine battens.
  - Exterior timber paint finish in 'Dulux Monument'.

#### CLIENT FENCING REQUIREMENTS

- 7 **Batten Timber Fence**  
Height: 1800mm  
Constructed from soft wood pine battens.
  - Exterior timber paint finish in 'Dulux Monument'.

#### EXISTING FENCE

- 8 **Existing Fencing**  
Where applicable, existing fencing to be retained to minimise impact to adjoining neighbours. If fencing cannot be retained, fencing within these existing lot interfaces to be treated with a timber lapped & capped fence.